

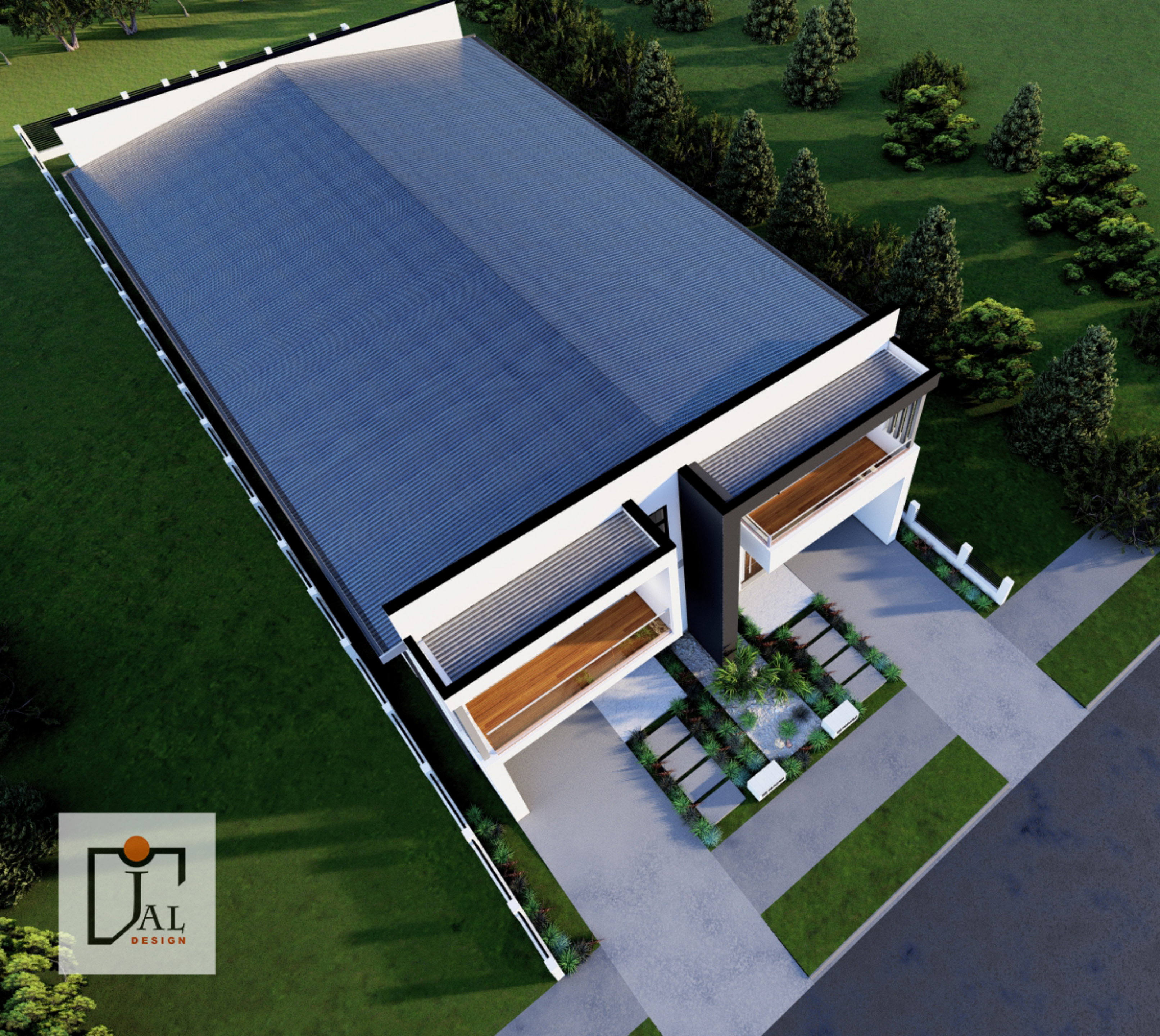


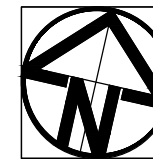
MAILBOX

MAILBOX





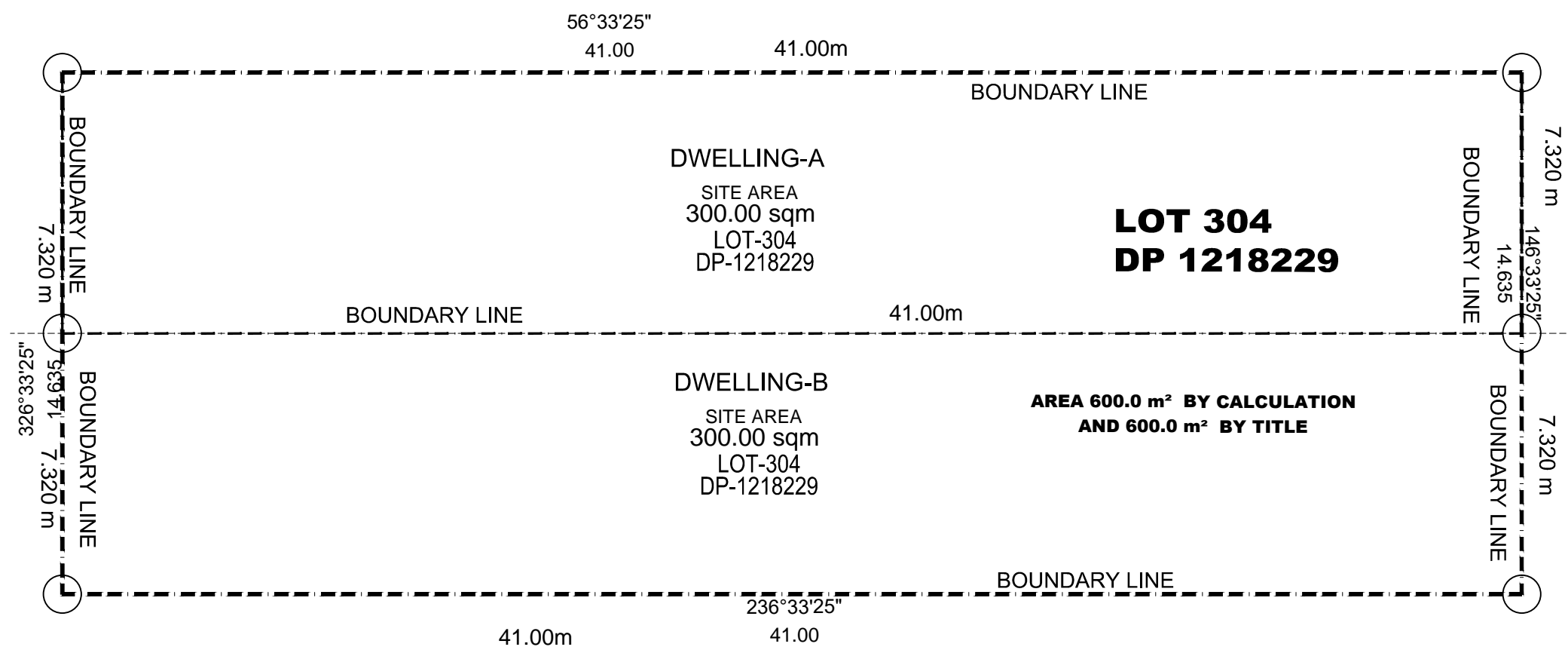




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REVISION :		
No	AMENDMENTS	By Date
A	FOR CLIENT APPROVAL	AM 25.07.24
B	FOR CLIENT APPROVAL	AM 28.08.24
C	FOR CLIENT APPROVAL	AM 28.08.24
D	FOR DA APPROVAL	AM 25.09.24

KARACHI STREET



**LOT 304
DP 1218229**

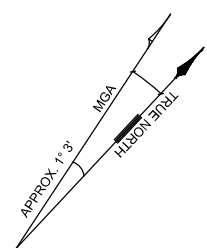
**AREA 600.0 m² BY CALCULATION
AND 600.0 m² BY TITLE**

1 SUBDIVISION PLAN
SCALE 1:100 @ A3

SCALE 1:100 METRES

NOTE: All Proposed works shall comply with the NCC Series 2022–Volume 2 and Housing Provision Standard 2022.

SITE CALCULATIONS	
DWELLING A - LOT 304	= 300.00sqm
DWELLING B - LOT 304	= 300.00sqm
TOTAL BOTH LOT AREAS	= 300.00+300.00= 600.00 s.q.m.



Accredited Building Designer (Low Rise)
Accreditation Number 6871
MBDAA # 9831-22



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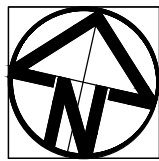
OFFICE :
39 Wallers Road, Blacktown NSW 2148
PH: (02) 88074947 FAX: (02) 88074947 M: 0425372101
email amin9325@gmail.com info@jaldesign.com.au
www.jaldesign.com.au ABN:14 646 869 187

PROJECT :
PROPOSED ATTACHED DWELLING
No-4 Karachi St.
Riverstone–NSW 2766

CLIENT :
THE TRUSTEE OF PV004 PTY LTD

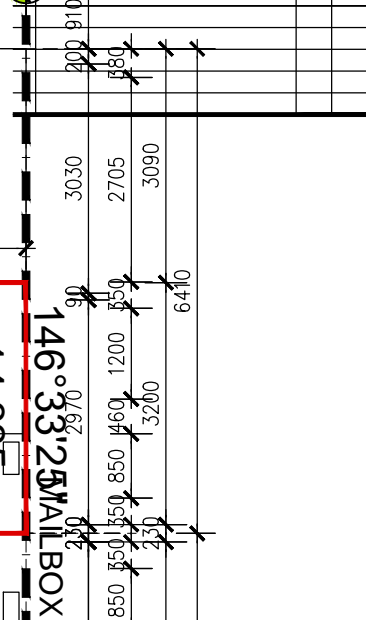
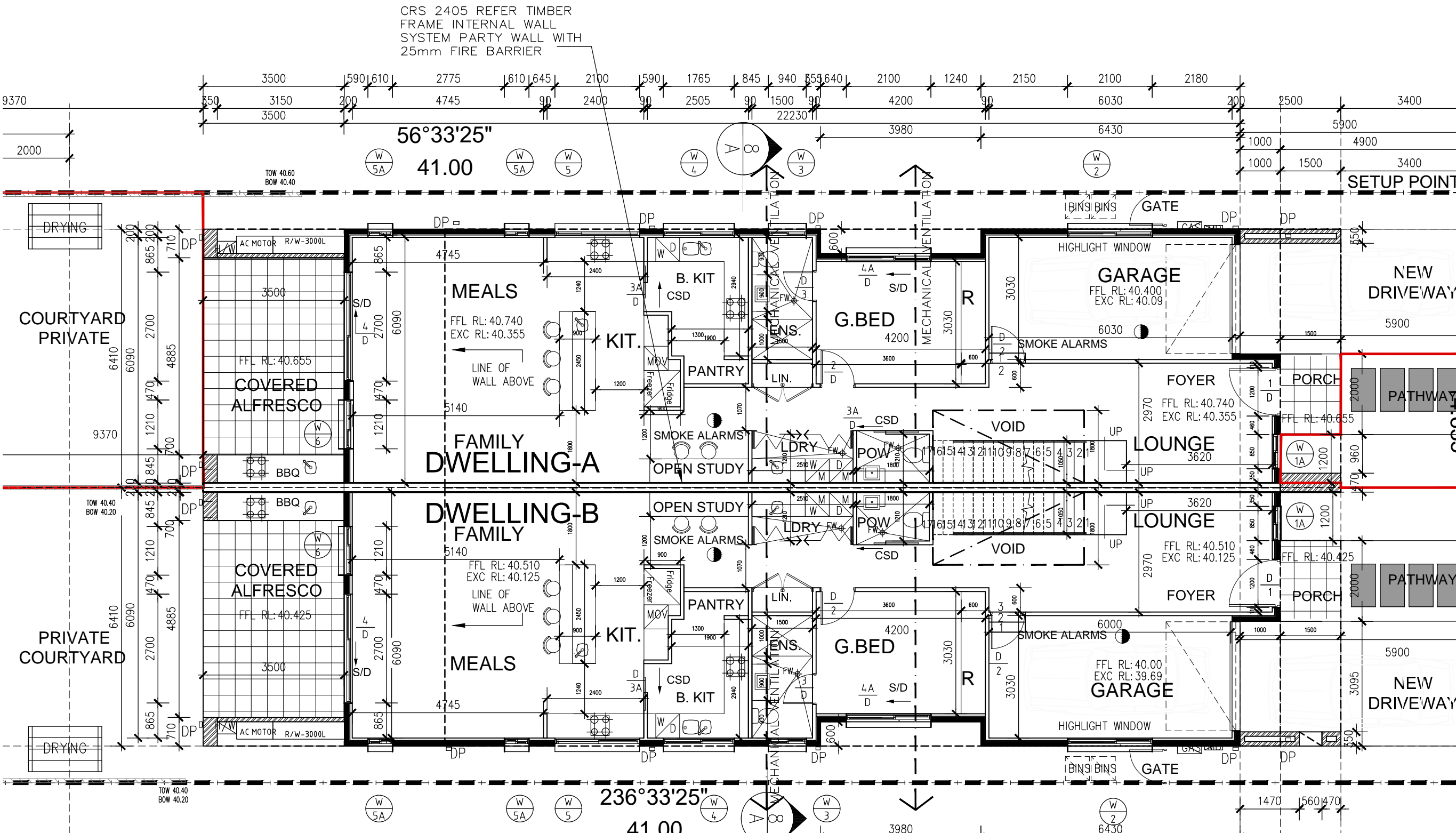
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SUBDIVISION PLAN

DRAWN :	AM
CHECKED :	AMIN
DATE :	25.07.2024
SCALE :	AS SHOWN
PROJECT No:	041-23-24
DRAWING No's:	02/16



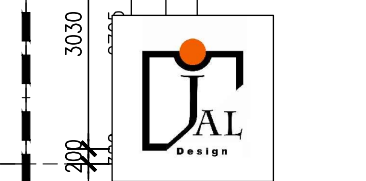
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REVISION :		
AMENDMENTS	By	Date
FOR CLIENT APPROVAL	AM	25.07.24
FOR CLIENT APPROVAL	AM	28.08.24
FOR CLIENT APPROVAL	AM	28.08.24
FOR DA APPROVAL	AM	25.09.24



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PROJECT :
PROPOSED ATTACHED DWELLING
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Riverstone-NSW 2766

CLIENT :
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DRAWING TITLE :
GROUND FLOOR PLAN

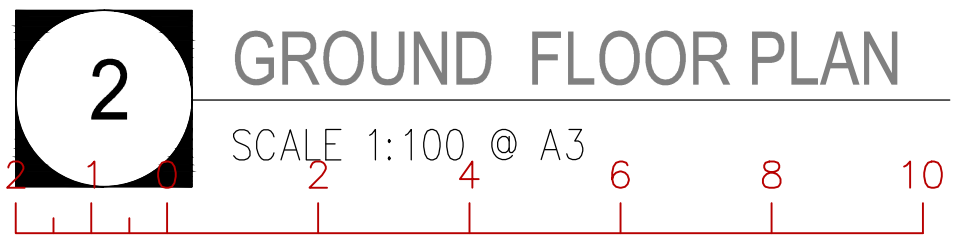
DRAWN :	AM
CHECKED :	AMIN
DATE :	25.07.2024
SCALE :	AS SHOWN
PROJECT No:	041-23-24
DRAWING No's:	04/16

CRS 2405 REFER TIMBER
FRAME INTERNAL WALL
SYSTEM PARTY WALL WITH
25mm FIRE BARRIER

56°33'25"
41.00

236°33'25"
41.00

LEGEND	
	HEBEL WALL
	BRICK WALL
	90 TIMBER STUD WALL
	SMOKE ALARMS

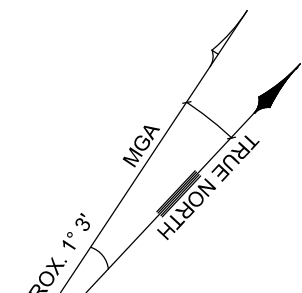


NOTE: "METER BOX LOCATION TO BE CONFIRM BY ELECTRICIAN"

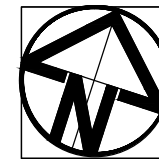
NOTE: ALL EAVES MINIMUM 450mm INCLUDED OF FASCIA AND GUTTER

NOTE: All Proposed works shall comply with the NCC Series 2022-Volume 2 and Housing Provision Standard 2022.

NOTE: " The driveway gradient is to be constructed in according with the council specification. Provide a grating to the front of the garage to avoid stormwater entering the garage"



CRS 2405 REFER TIMBER
FRAME INTERNAL WALL
SYSTEM PARTY WALL WITH
25mm FIRE BARRIER



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REVISION :		
No	AMENDMENTS	By Date
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LEGEND	
	HEBEL WALL
	BRICK WALL
	90 TIMBER STUD WALL
	SMOKE ALARMS



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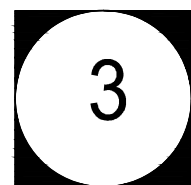
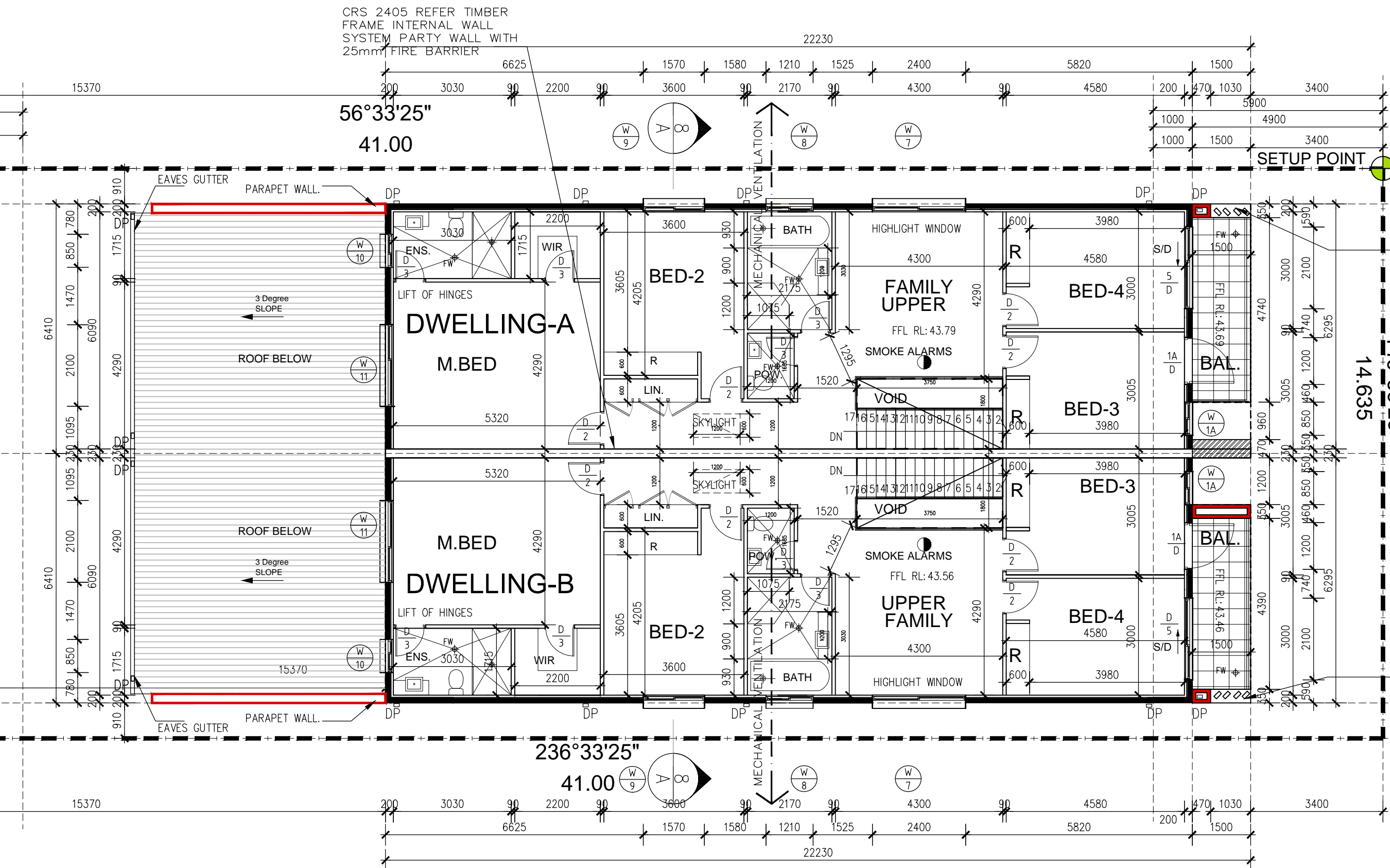
PROJECT :
PROPOSED ATTACHED DWELLING
No-4 Karachi St.
Riverstone-NSW 2766

CLIENT :
THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE :
FIRST FLOOR PLAN

DRAWN : AM
CHECKED : AMIN
DATE : 25.07.2024 **DRAWING No's:**
SCALE : AS SHOWN
PROJECT No:

041-23-24 05/16



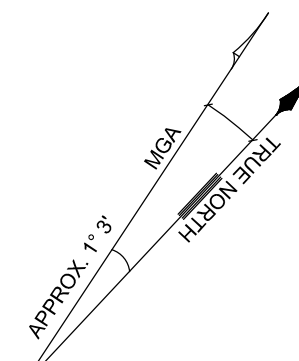
FIRST FLOOR PLAN

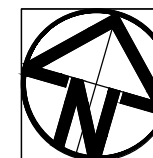
SCALE 1:100 @ A3



NOTE: ALL EAVES MINIMUM 450mm INCLUDED OF FASCIA AND GUTTER

NOTE: All Proposed works shall comply with the NCC Series 2022-Volume 2 and Housing Provision Standard 2022.





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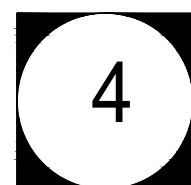
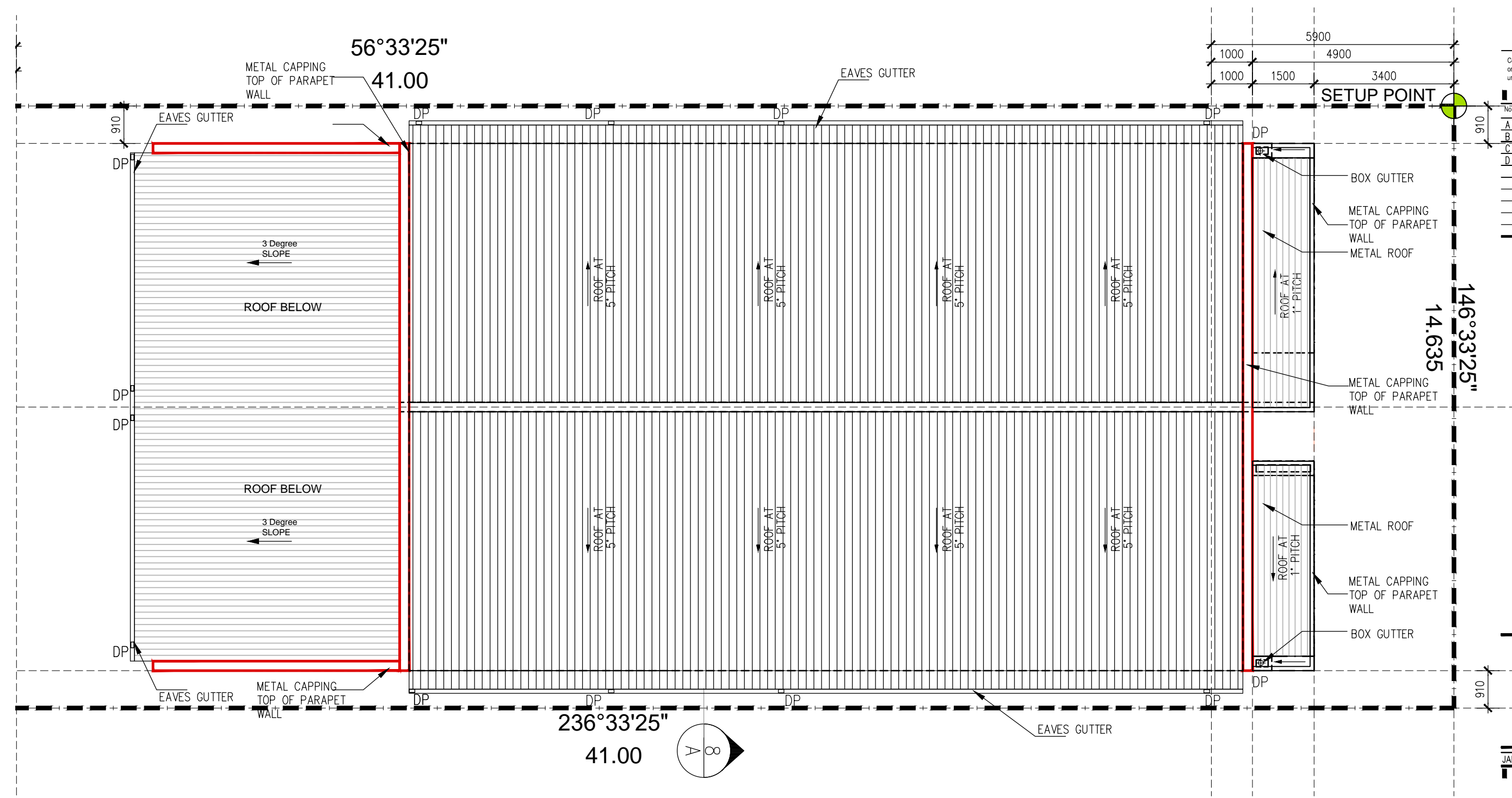
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PROJECT :
PROPOSED ATTACHED DWELLING
No-4 Karachi St.
Riverstone-NSW 2766

CLIENT :
THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE :
ROOF PLAN

DRAWN :	AM	DRAWING No's: 06/16
CHECKED :	AMIN	
DATE :	25.07.2024	
SCALE :	AS SHOWN	
PROJECT No:	041-23-24	



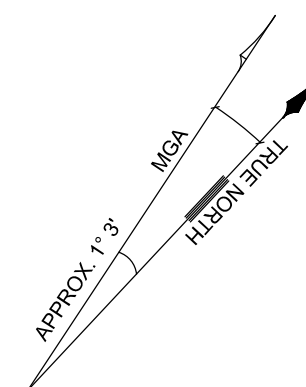
ROOF PLAN

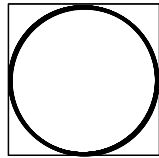
SCALE 1:100 @ A3



NOTE: ALL EAVES MINIMUM 450mm INCLUDED OF FASCIA AND GUTTER

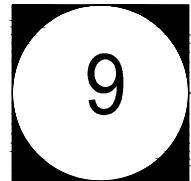
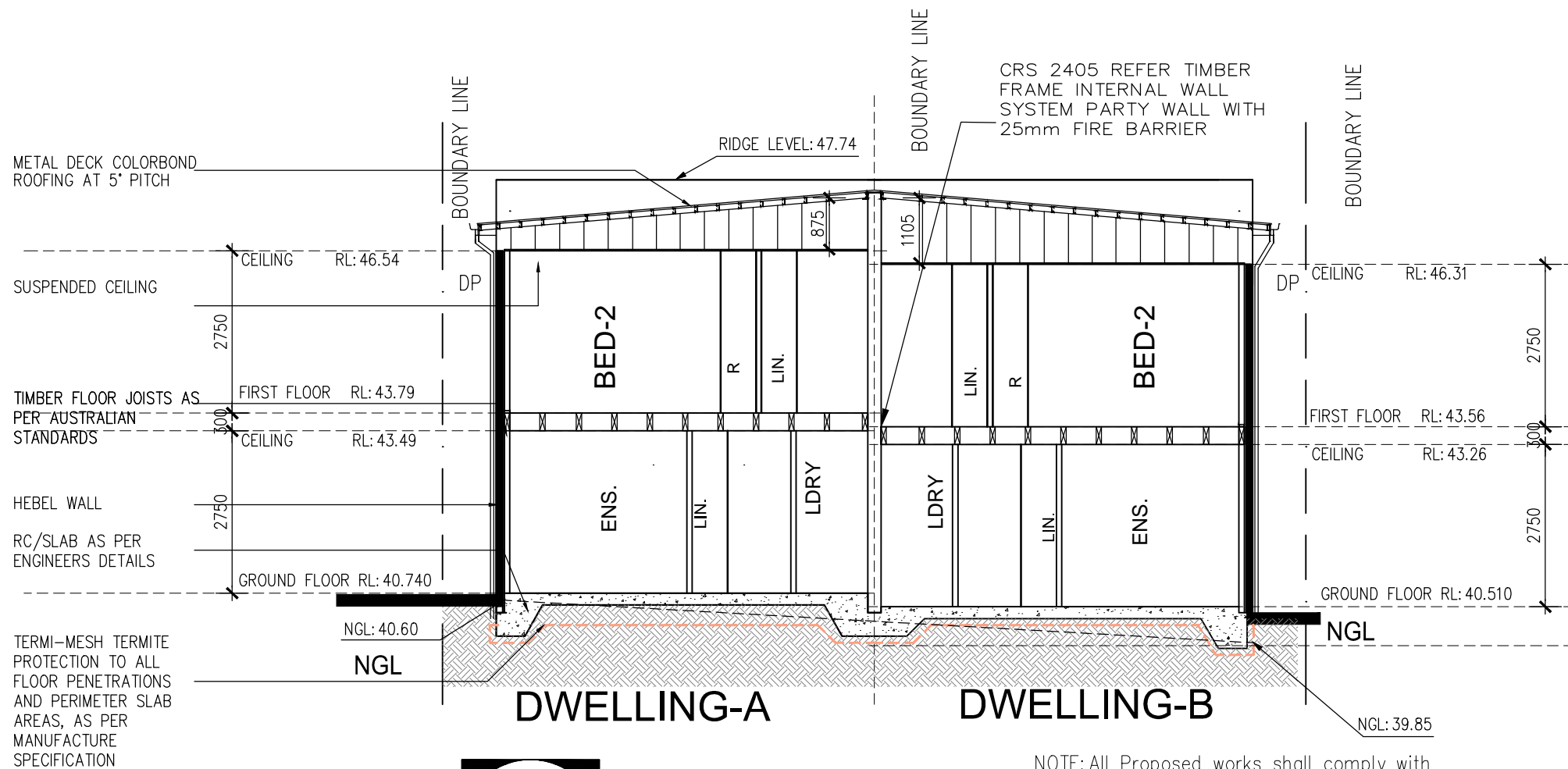
NOTE: All Proposed works shall comply with the NCC Series 2022-Volume 2 and Housing Provision Standard 2022.





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C	FOR CLIENT APPROVAL	AM 28.08.24
D	FOR DA APPROVAL	AM 25.09.24



SECTION -A-A

SCALE 1:100 @ A3

NOTE: All Proposed works shall comply with the NCC Series 2022–Volume 2 and Housing Provision Standard 2022.



LEGEND	
	HEBEL WALL
	BRICK WALL
	90 TIMBER STUD WALL
	SMOKE ALARMS

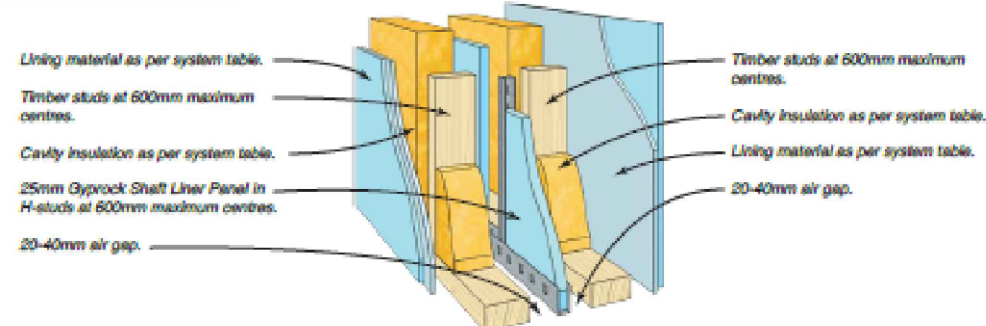
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MBDAA # 9831-22



SYSTEM SPECIFICATION Refer to GYPS-18 Gyprock Party Wall Installation Guide for further information			ACOUSTIC OPINION: PKA Predictor V16 Discontinuous Construction		
FRL Report/Opinion	SYSTEM Nº	WALL LININGS	STUD DEPTH mm	70	90
60/60/60 (from both sides) EWFA 45743		BOTH SIDES • 1 x 10mm Gyprock Superchek Plasterboard.	CAVITY INFILL (Both Sides) (Refer to TABLE B13)	$R_w / R_w + C_{tr}$	
			(a) 75 Gold Batts 2.0	62/49	63/51
			(b) 90 Gold Batts 2.7	64/51	65/53
			(c) 88 Soundscreen 2.5	65/52	66/54
			(e) 110 Acoustigard 2.5	64/51	65/53
Minimum Wall Thickness mm			225	265	

SYSTEM SPECIFICATIONS Timber Frame Internal Wall Systems – Party Wall with 25mm Fire Barrier



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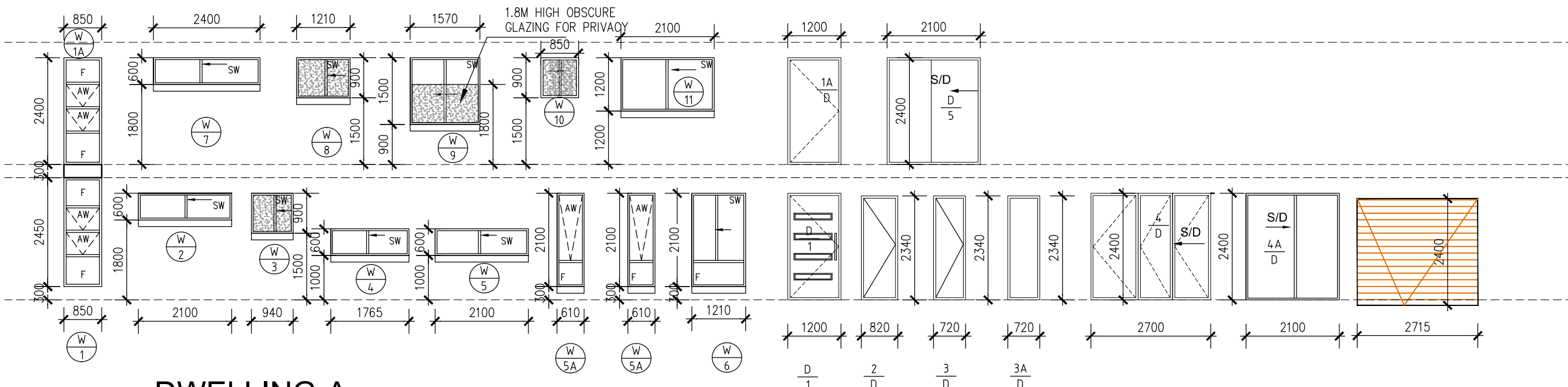
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email amin9325@gmail.com info@jaldesign.com.au
www.jaldesign.com.au ABN:14 646 869 187

PROJECT :
PROPOSED ATTACHED DWELLING
No-4 Karachi St.
Riverstone-NSW 2766

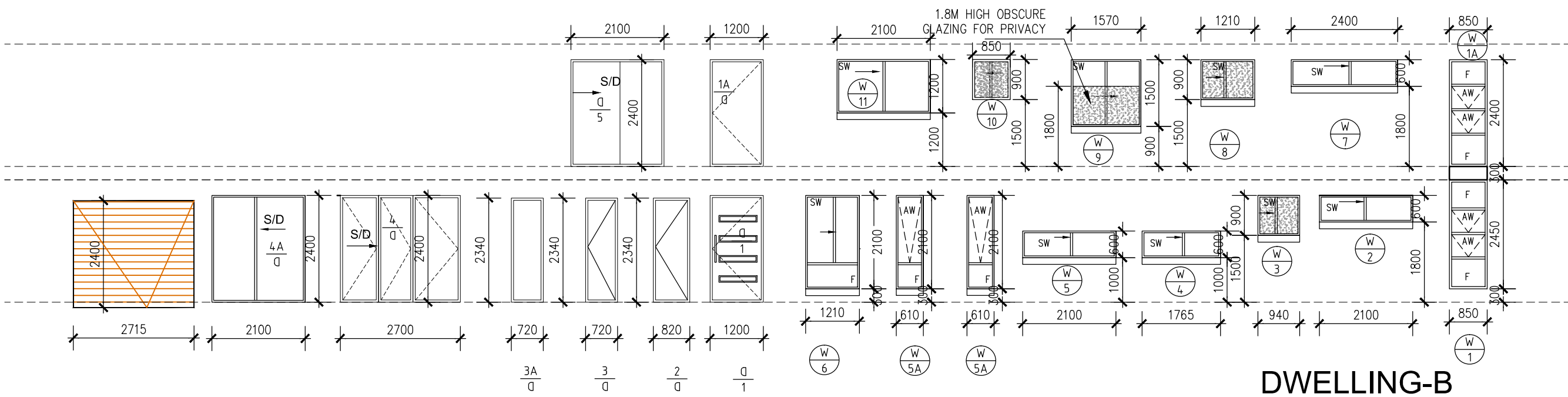
CLIENT :
THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE :
SECTION-A-A

DRAWN : AM	DRAWING No's: 09/16
CHECKED : AMIN	
DATE : 25.07.2024	
SCALE : AS SHOWN	
PROJECT No: 041-23-24	



DWELLING-A



DWELLING-B

ALL LEVELS AND DIMENSIONS SHALL BE VERIFIED AT SITE BY BUILDER / MANUFACTURER PRIOR TO COMMENCEMENT OF ANY WORK.

ALL WINDOWS ARE VIEWED FROM THE OUTSIDE.

STEEL SUPPORT TO ENGINEERS DRAWING ALUMINUM TRIM (COVER PLATE) MATCH WITH WINDOW FRAME

NOTE: All Proposed works shall comply with the NCC Series 2022–Volume 2 and Housing Provision Standard 2022.

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REVISION :		
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C	FOR CLIENT APPROVAL	AM 28.08.24
D	FOR DA APPROVAL	AM 25.09.24



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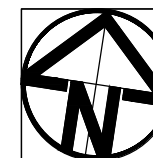
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PROJECT :
PROPOSED ATTACHED DWELLING
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Riverstone–NSW 2766

CLIENT :
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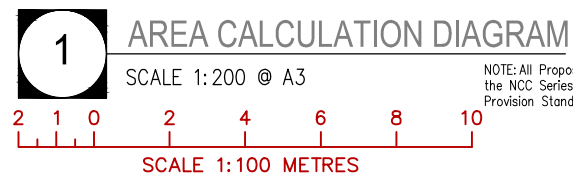
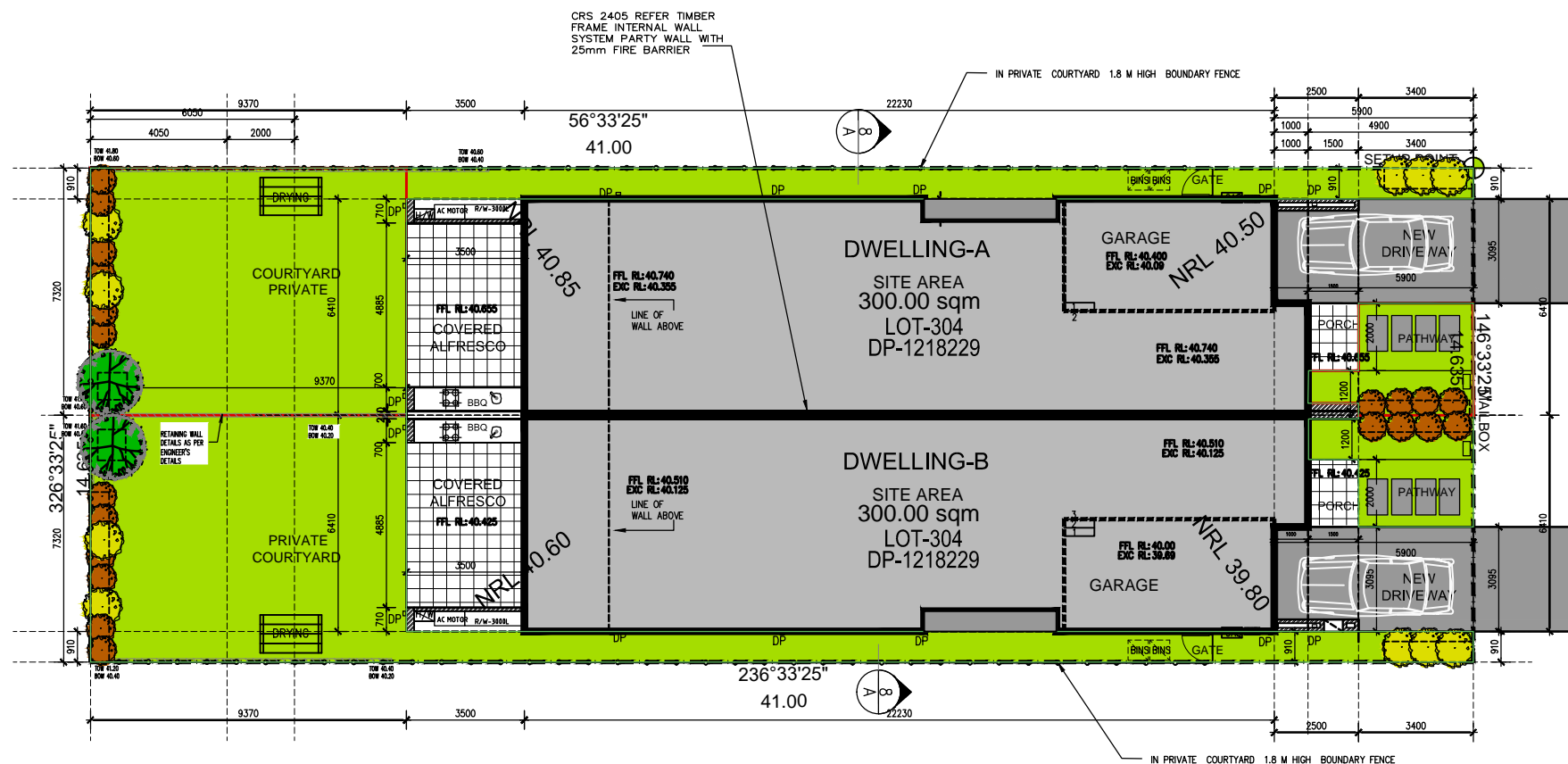
DRAWING TITLE :
WINDOW AND DOOR SCHEDULE

DRAWN :	AM
CHECKED :	AMIN
DATE :	25.07.2024
SCALE :	AS SHOWN
PROJECT No:	041-23-24
DRAWING No's:	10/16

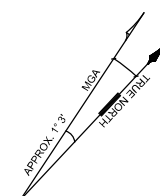


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C	FOR CLIENT APPROVAL	AM 28.08.24
D	FOR DA APPROVAL	AM 25.09.24



CALCULATION DIAGRAM			
	DWELLING-A	DWELLING-B	TOTAL
SITE AREA	= 600.00 s.q.m.		
LAND AREA	= 300.00	= 300.00	= 600.00 s.q.m.
REQUIRED F.F SITE COVERAGE 50%=300.00 sqm	= 150.00 sqm	= 150.00 sqm	
PROPOSED F.F SITE COVERAGE 41%=246.00 sqm	= 123.00 sqm	= 123.00 sqm	
REQUIRED LANDSCAPE AREA 15%=90.00 sqm	= 45.00 sqm	= 45.00 sqm	
PROPOSED LANDSCAPE AREA 27.19%=163.12 sqm	= 81.56 sqm	= 81.56 sqm	
REQUIRED PRIVATE OPEN SPACE AREA	= 16.00 sqm	= 16.00 sqm	
PROPOSED PRIVATE OPEN SPACE AREA	= 68.56 sqm	= 68.56 sqm	
GROUND FLOOR	= 120.00	= 120.00	
FIRST FLOOR	= 123.00	= 123.00	
TOTAL G.F + F.F AREA	= 243.00	= 243.00	486.00 s.q.m.
GARAGE AREA	= 20.70	= 20.70	41.40 s.q.m.
TOTAL AREA	= 263.70	= 263.70	527.40 s.q.m.
PORCH	= 3.00	= 3.00	6.00 s.q.m.
COVERED ALFRESCO	= 22.00	= 22.00	44.00 s.q.m.
BALCONY	= 7.65	= 7.65	15.30 s.q.m.
GRAND TOTAL AREA	= 296.35	= 296.35	592.70 s.q.m.
CAR PARKING REQUIRED	= 2	= 2	
CAR PARKING PROVIDED	= 2	= 2	



KARACHI STREET



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Accreditation Number 6871
MBDAA # 9831-22



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PROPOSED ATTACHED DWELLING
No-4 Karachi St.
Riverstone-NSW 2766

CLIENT :
THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE :
AREA CALCULATION DIAGRAM

DRAWN : AM

CHECKED : AMIN

DATE : 25.07.2024

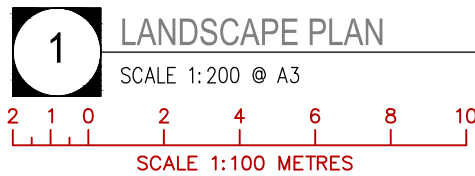
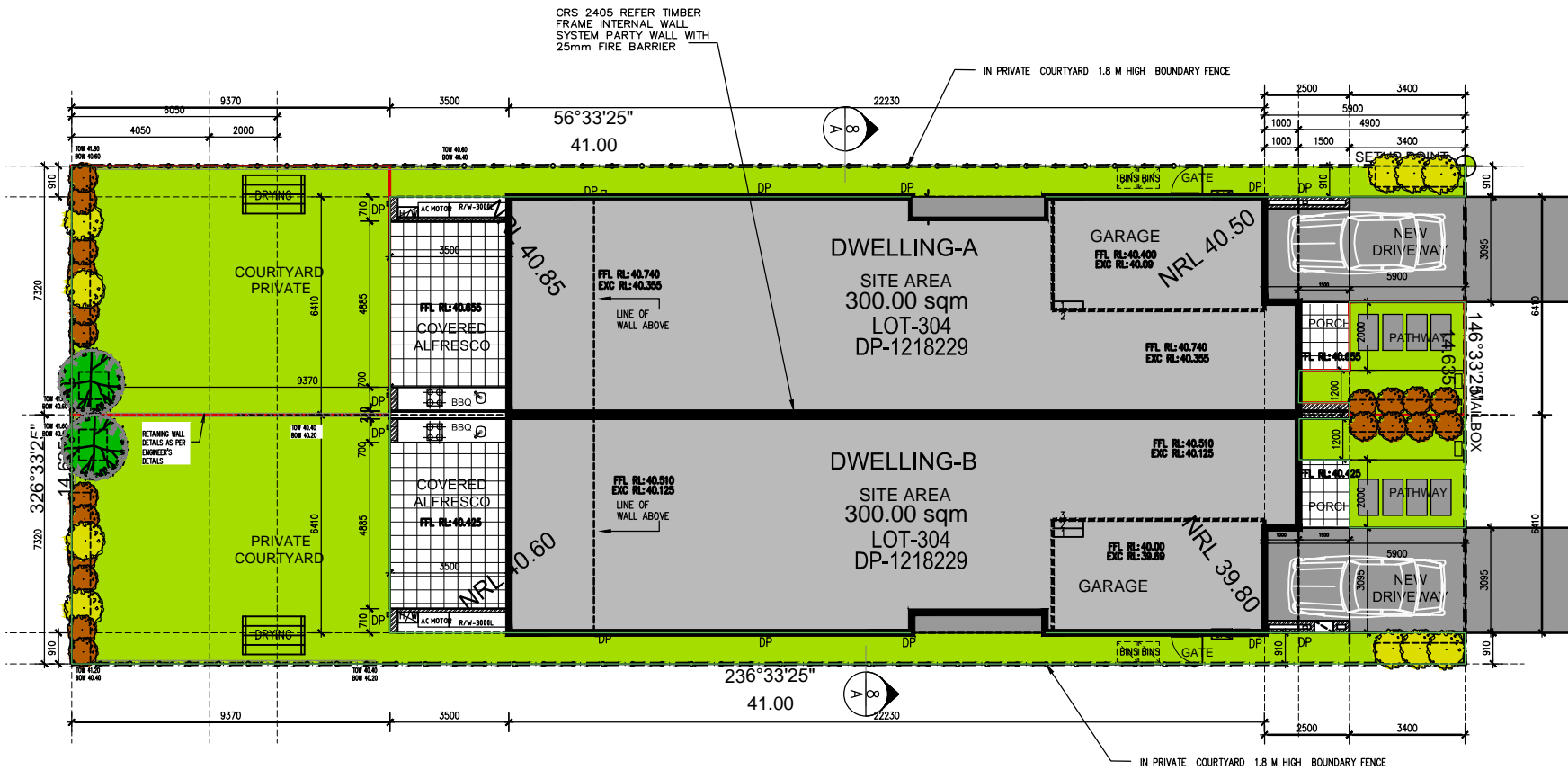
DRAWING No's:

SCALE : AS SHOWN

PROJECT No:

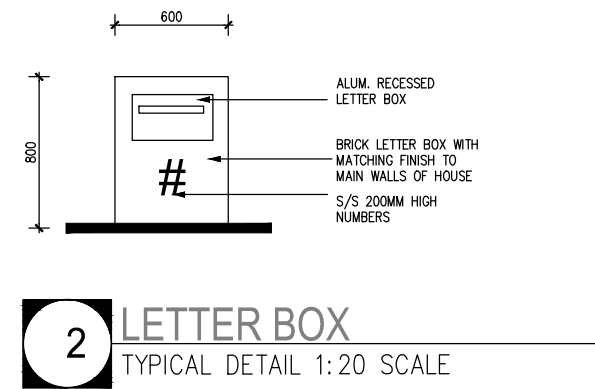
041-23-24

11/16



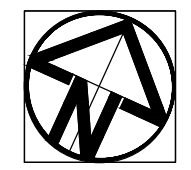
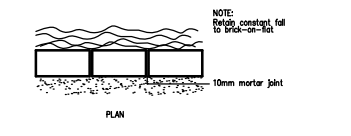
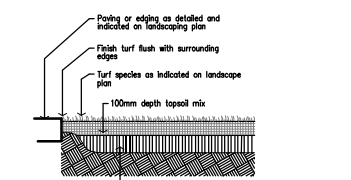
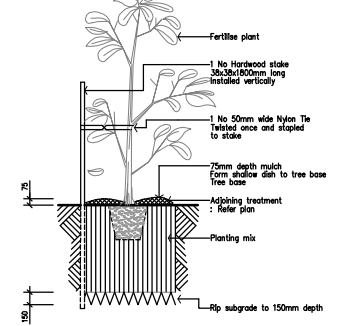
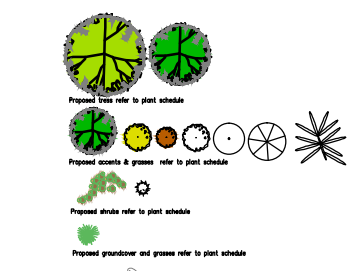
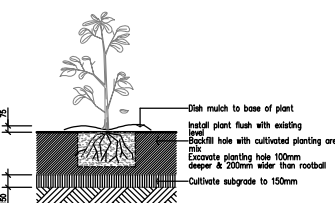
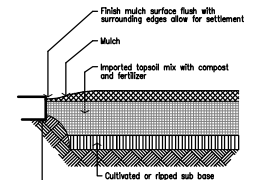
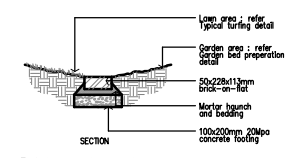
PLANT SCHEDULE & LEGEND:

LEGEND	CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT RANGE	INSTALLATION SIZE	QUANTITY
TREE; SHRUBS & PLANTS						
	Csu	Callistemon subulatus	Dwarf Bottlebrush	1.0 - 2.0 M	5 Liter	2 Nos
	Om	Olearia microphylla	Small-leaved Daisy Bush	1 M	15 Liter	10 Nos
GROUND COVER						
	Oj	Ophiopogon japonicus	Mondo Grass		150 mm Pot	20 Nos



LEGEND

- Turf: Concrete / grade all areas to be levelled to 100mm below required finished levels. Do not excavate within 150mm of the base of any existing tree to be retained. Ensure that all surface water runoff is directed towards the street, gutter, etc. and away from buildings. Ensure that no pooling or ponding will occur. Rip the subgrade to 150mm, level 100mm depth of imported topsoil. Just prior to spreading the turf, spread 20kg/m² fertilizer over the topsoil at the recommended rate. Lay "Strip" turf with closely butted, fit any small gaps with topsoil. Water thoroughly.
- Paths: Brick garden edging: Lay a single course of paving bricks in a mortar haunch (200mm wide and 100mm deep). The top edge is to be laid on a concrete and straight line to be shown on the plan. Where light curves are shown use half bricks to show a more even curve. The top of the edge is to finish flush with the adjacent turf and match levels.
- IN PRIVATE COURTYARD 1.8 M HIGH BOUNDARY FENCE
- Existing trees to be removed
- Planting areas: Ensure that the most planting areas have been excavated to 300 below finished levels. Fit to a further depth of 100mm. Supply and install 200mm self water. Soil mix to comprise of one part approved compost to three parts topsoil. Topsoil shall be either imported topsoil or adopted with topsoil (if suitable for the site) to a 75mm depth of selected match.
- Note: Maintenance: All landscape works are to be maintained for a period of six months from the date of practical completion. This includes all watering, weeding, spraying and re-planting necessary to enhance optimum growth. Any defects which arise during this period are to be rectified immediately. Any plants or areas of turf which fail during this period are to be replaced at no additional cost.
- Existing trees to be retained
- Worktable
- Standard concrete finish



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REVISION :

No	AMENDMENTS	By	Date
A	FOR CLIENT APPROVAL	AM	25.07.24
B	FOR CLIENT APPROVAL	AM	28.08.24
C	FOR CLIENT APPROVAL	AM	28.08.24
D	FOR DA APPROVAL	AM	25.09.24



Accredited Building Designer (Low Rise)
Accreditation Number 6871
MBDAA # 9831-22



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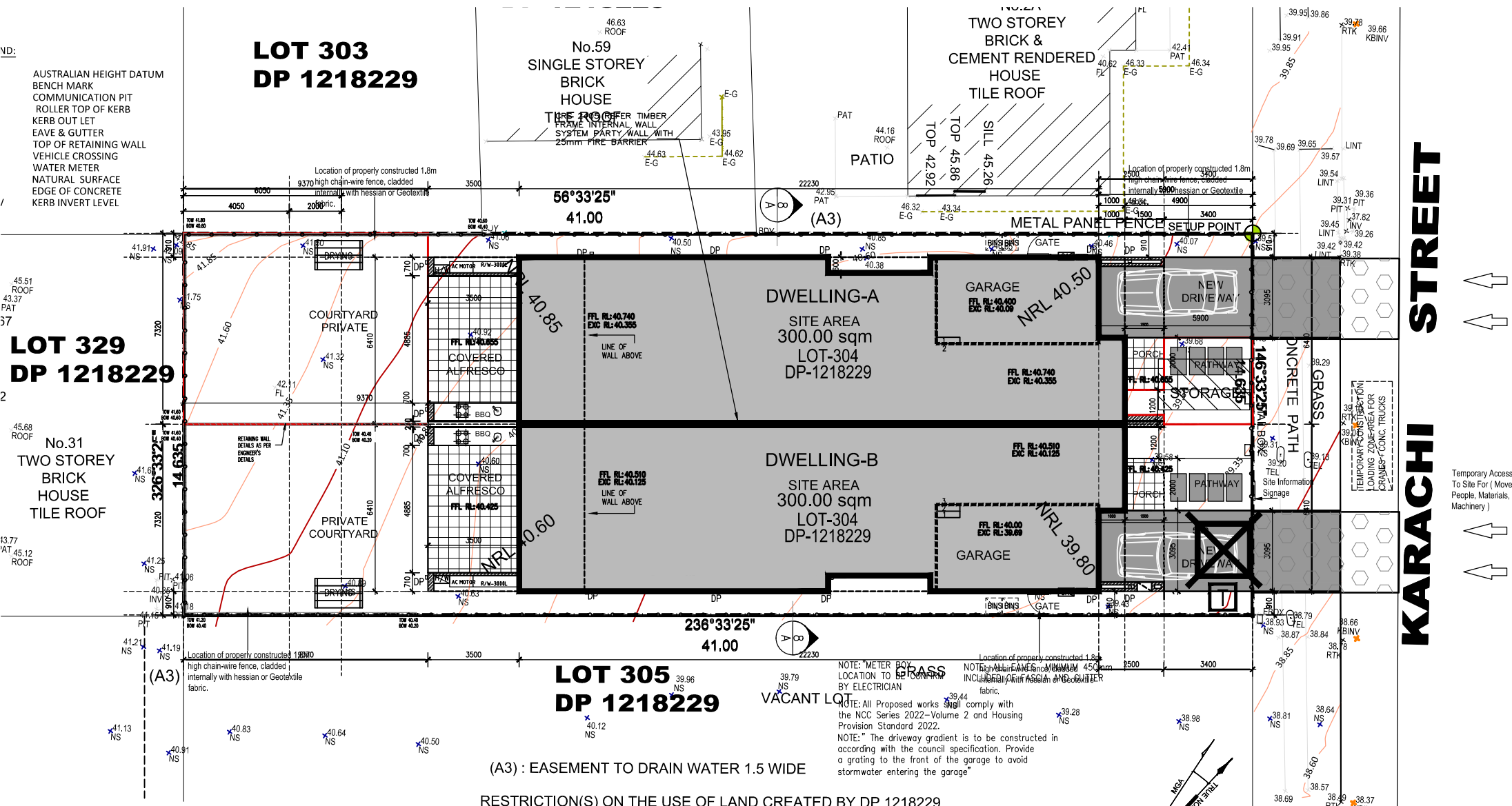
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email amin@jaldesign.com.au info@jaldesign.com.au
www.jaldesign.com.au ABN:14 646 869 187

PROJECT :
PROPOSED ATTACHED DWELLING
No-4 Karachi St.
Riverstone-NSW 2766

CLIENT :
THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE :
LANDSCAPE PLAN

DRAWN :	AM
CHECKED :	AMIN
DATE :	25.07.2024
SCALE :	AS SHOWN
PROJECT No:	041-23-24
DRAWING No's:	12/16



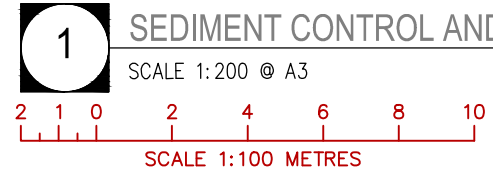
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C	FOR CLIENT APPROVAL	AM	28.08.24
D	FOR DA APPROVAL	AM	25.09.24

(A3) : EASEMENT TO DRAIN WATER 1.5 WIDE

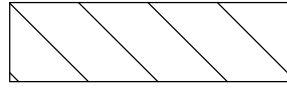

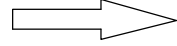


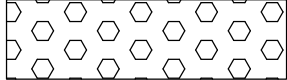
RESTRICTION(S) ON THE USE OF LAND CREATED BY DP 1218229 AND REFERRED TO NUMBERED (10,11) IN THE S.88B INSTRUMENT



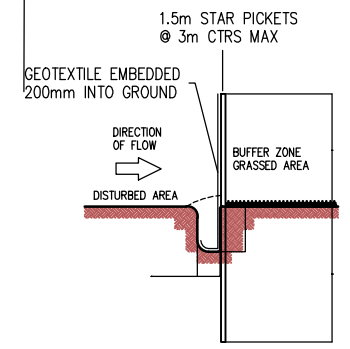
1 SEDIMENT CONTROL AND CONSTRUCTION MANAGEMENT PLAN

SCALE 1:200 @ A3

SEDIMENT CONTROL LEGEND

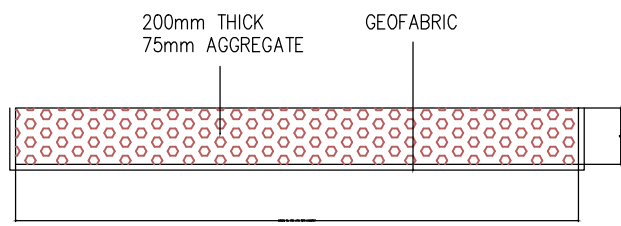
-  MATERIAL STORAGE
-  SILT BARRIER FENCE (STRUCTURE TYPE A)
-  SITE ACCESS
-  SITE SHED
-  SITE TOILETS
-  STABILISED SITE ACCESS

- SEDIMENT AND EROSION NOTES**
- THIS PLAN TO BE READ IN CONJUNCTION WITH SEDIMENT AND EROSION CONTROL DETAILS AS ATTACHED.
 - THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY AND TO THE SATISFACTION OF COUNCIL PRIOR TO THE COMMENCEMENT OF AND DURING CONSTRUCTION. NO DISTURBANCE TO THE SITE SHALL BE PERMITTED OTHER THAN IN THE IMMEDIATE AREA OF THE WORKS AND NO MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT COUNCIL'S APPROVAL. ALL SEDIMENT AND EROSION CONTROL DEVICES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH STANDARDS OUTLINED IN NSW DEPARTMENT OF HOUSING'S 'MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTIONS'.
 - TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPIRED LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (I.E. ALL FOOTPATHS, BATTERS, SITE REGARDING AREAS, BASINS AND CATCHDRAINS). TOPSOIL SHALL NOT BE RESPIRED ON ANY OTHER AREAS UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SILT LADEN RUNOFF.
 - THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES SUCH THAT MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
 - LAY TURF STRIP (MIN 300mm WIDE) ON 100mm TOPSOIL WITH 1.0m LONG RETURNS EVERY 6.0m BEHIND ALL KERB AT THE TOP OF ALL BATTERS AND AROUND STRUCTURES IMMEDIATELY AFTER BACKFILLING OR FORMATION.
 - THE CONTRACTOR SHALL GRASS SEED ALL DISTURBED AREAS WITH AN APPROVED MIX AS SOON AS PRACTICABLE AFTER COMPLETION OF EARTHWORKS AND REGRADING.
 - VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO NOMINATED STABILISED ACCESS POINTS.
 - WHEN ANY DEVICES ARE TO BE HANDED OVER TO COUNCIL THEY SHALL BE IN CLEAN AND STABLE CONDITION.
 - THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL BY REGULAR WETTING DOWN (BUT NOT SATURATING) DISTURBED AREA.
 - PROVIDE AND MAINTAIN SILT TRAPS AROUND ALL SURFACE INLET PITS UNTIL CATCHMENT IS REVEGETATED OR PAVED.
 - REVEGETATE ALL TRENCHES IMMEDIATELY UPON COMPLETION OF BACKFILLING.
 - ALL DRAINAGE PIPE INLETS TO BE CAPPED UNTIL :
 - DOWNPIPES CONNECTED
 - PITS CONSTRUCTED AND PROTECTED WITH SILT BARRIER



GEOFABRIC LINED SILT FENCE (STRUCTURE TYPE A)

SCALE 1:20



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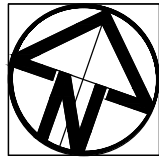
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PROJECT :
 PROPOSED ATTACHED DWELLING
 No-4 Karachi St.
 Riverstone-NSW 2766

CLIENT :
 THE TRUSTEE OF PV004 PTY LTD

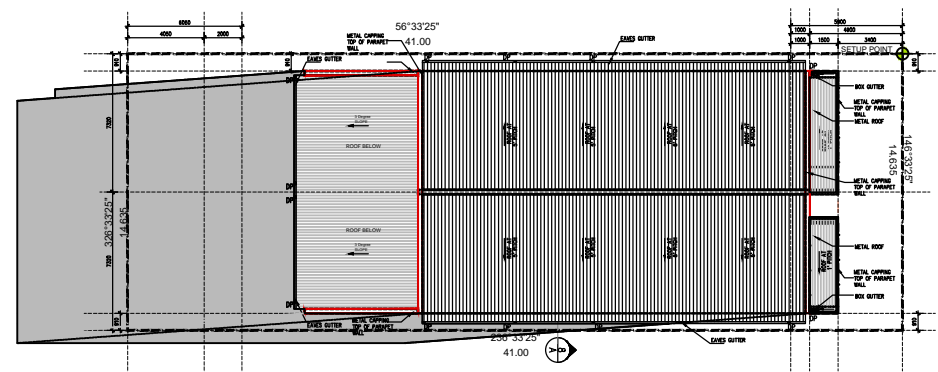
DRAWING TITLE :
 CONSTRUCTION MANAGEMENT PLAN

DRAWN : AM
CHECKED : AMIN
DATE : 25.07.2024 **DRAWING No's:**
SCALE : AS SHOWN
PROJECT No: **041-23-24**
13/16

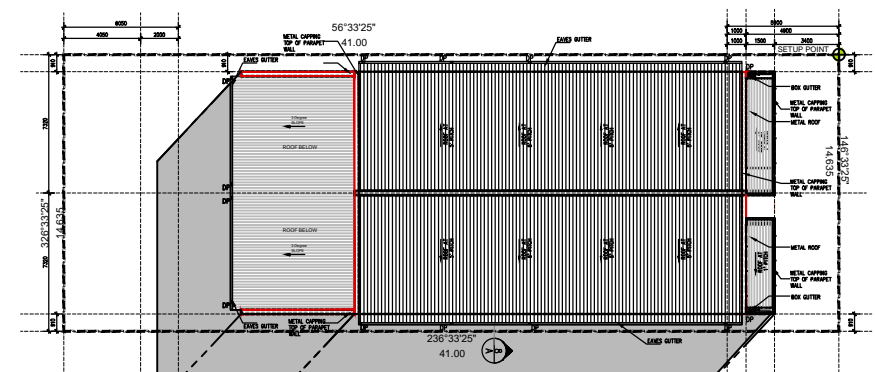


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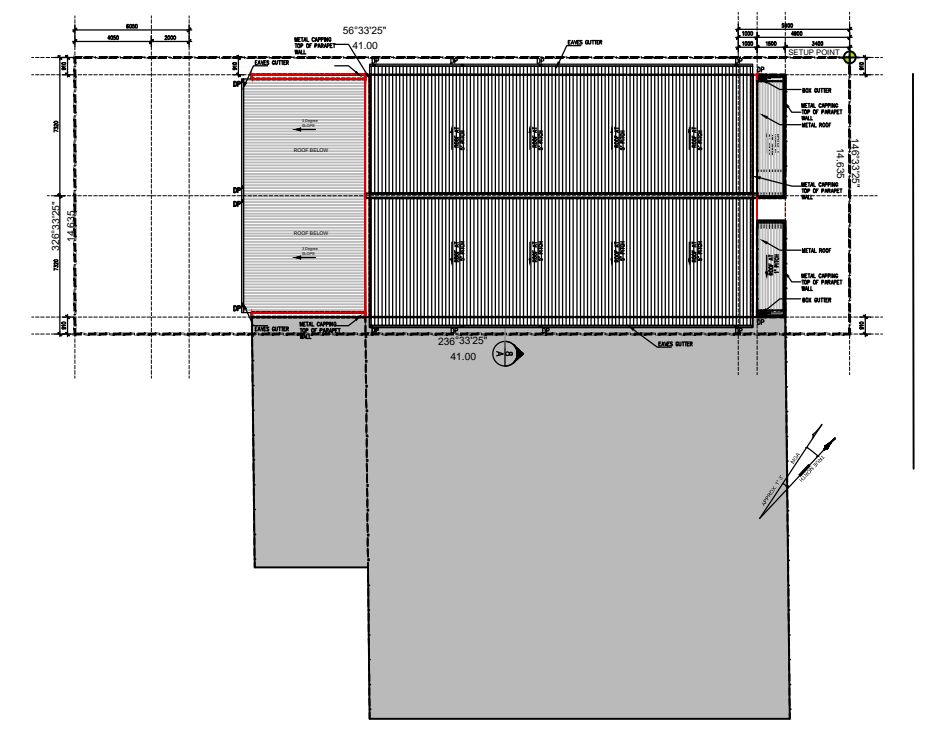
REVISION :		
No	AMENDMENTS	By Date
A	FOR CLIENT APPROVAL	AM 25.07.24
B	FOR CLIENT APPROVAL	AM 28.08.24
C	FOR CLIENT APPROVAL	AM 28.08.24
D	FOR DA APPROVAL	AM 25.09.24



1 SHADOW DIAGRAM
WINTER SOLSTICE - 21 JUNE, 9AM
SCALE 1:400 @ A3



2 SHADOW DIAGRAM
WINTER SOLSTICE - 21 JUNE, 12NOON
SCALE 1:400 @ A3



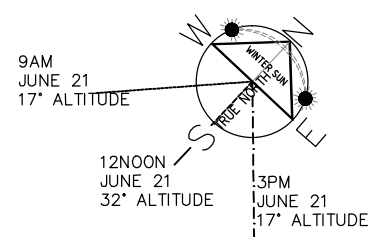
3 SHADOW DIAGRAM
WINTER SOLSTICE - 21 JUNE, 3PM
SCALE 1:400 @ A3



KARACHI STREET

KARACHI STREET

KARACHI STREET



SUN ANGLE INFORMATION		
Winter Solstice On June 21st		
TIME	ALTITUDE	AZIMUTH
9 AM	17 °	42° E OF N
12 NOON	32 °	0° NORTH
3 PM	17 °	42° W OF N



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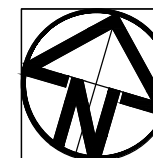
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PROJECT :
PROPOSED ATTACHED DWELLING
No-4 Karachi St.
Riverstone-NSW 2766

CLIENT :
THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE :
SHADOW DIAGRAM

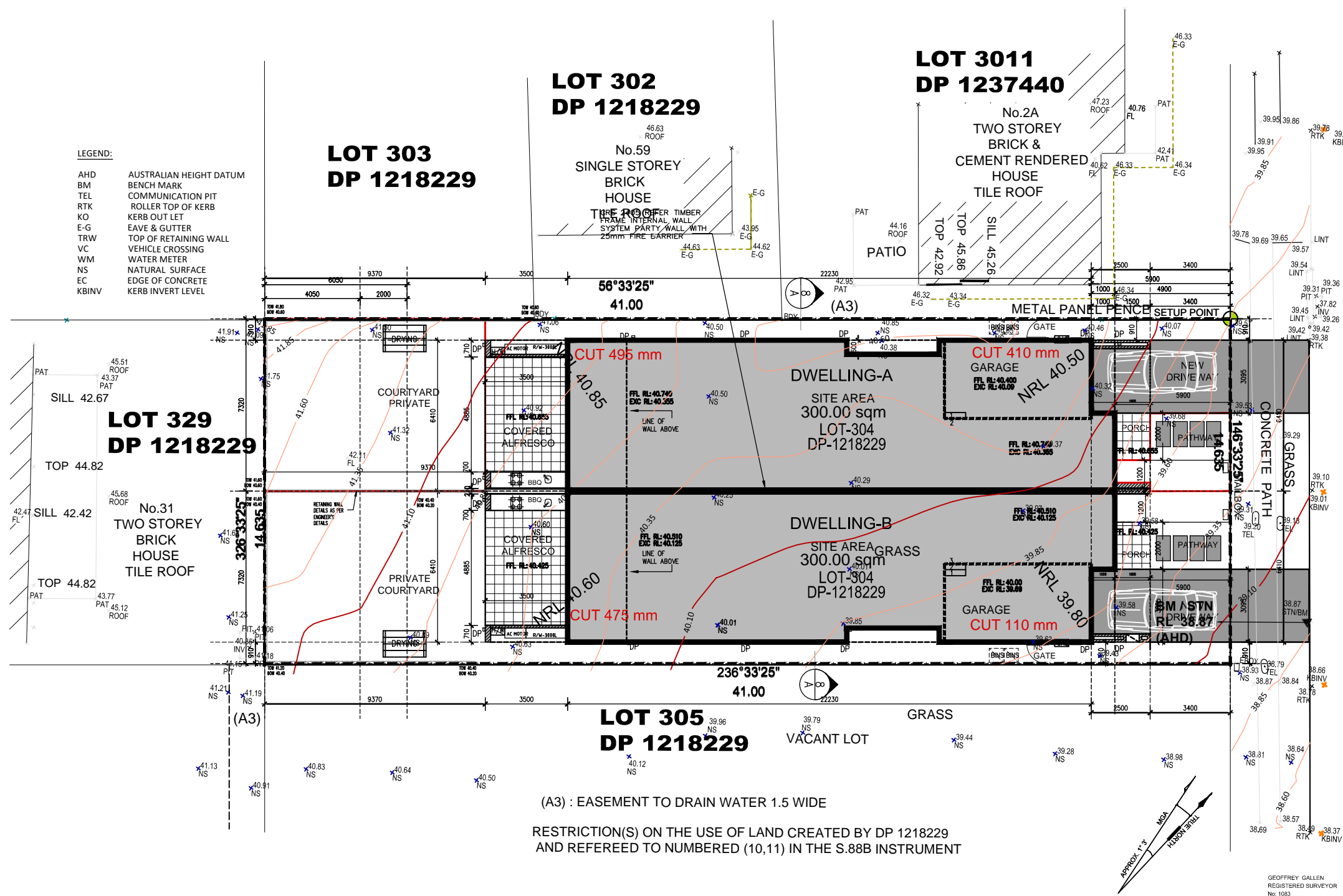
DRAWN : AM	DRAWING No's:
CHECKED : AMIN	
DATE : 25.07.2024	14/16
SCALE : AS SHOWN	
PROJECT No: 041-23-24	



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D	FOR DA APPROVAL	AM 25.09.24

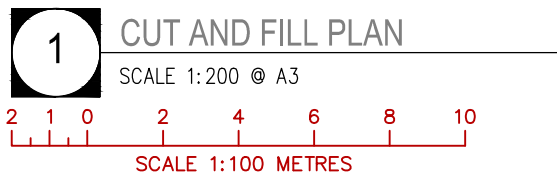
- LEGEND:**
- AHD AUSTRALIAN HEIGHT DATUM
 - BM BENCH MARK
 - TEL COMMUNICATION PIT
 - RTK ROLLER TOP OF KERB
 - KO KERB OUT LET
 - E-G EAVE & GUTTER
 - TRW TOP OF RETAINING WALL
 - VC VEHICLE CROSSING
 - WM WATER METER
 - NS NATURAL SURFACE
 - EC EDGE OF CONCRETE
 - KBINV KERB INVERT LEVEL



KARACHI STREET

(A3) : EASEMENT TO DRAIN WATER 1.5 WIDE

RESTRICTION(S) ON THE USE OF LAND CREATED BY DP 1218229 AND REFERRED TO NUMBERED (10,11) IN THE S.88B INSTRUMENT



NOTE: METER BOX LOCATION TO BE CONFIRM BY ELECTRICIAN

NOTE: ALL EAVES MINIMUM 450mm INCLUDED OF FASCIA AND GUTTER

NOTE: All Proposed works shall comply with the NCC Series 2022-Volume 2 and Housing Provision Standard 2022.

NOTE: The driveway gradient is to be constructed in according with the council specification. Provide a grating to the front of the garage to avoid stormwater entering the garage"



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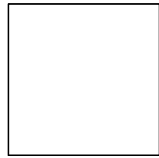
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PROJECT :
PROPOSED ATTACHED DWELLING
No-4 Karachi St.
Riverstone-NSW 2766

CLIENT :
THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE :
CUT AND FILL PLAN

DRAWN :	AM
CHECKED :	AMIN
DATE :	25.07.2024
SCALE :	AS SHOWN
PROJECT No:	041-23-24
DRAWING No's:	15/16



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1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

A note for the NCC Construction Type:

In Volume 2, Part H3 Fire safety, the construction of walls is described in many ways, depending on the circumstances, but not in terms of NCC Construction Type. Moreover, in Volume 1, Section C2 Fire resistance and stability, C2D2 Type of construction required, table C2D2 refers only to building classes 2 – 9.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 – it therefore may contain asbestos

1986 – it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified:

This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

For non-residential buildings where the end-use is known:

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.



Accredited Building Designer (Low Rise)
Accreditation Number 6871
MBDAA # 9831-22



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PROJECT :

PROPOSED ATTACHED DWELLING
No-4 Karachi St.
Riverstone-NSW 2766

CLIENT :

THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE :

SAFE DESIGN SHEET

DRAWN :

AM

CHECKED :

AMIN

DATE :

25.07.2024

SCALE :

AS SHOWN

PROJECT No:

041-23-24

DRAWING No's:

16/16