







# BASIX REQUIREMMENTS

## Description of project

The tables below describe the dwellings and common areas within the project

## Multi-dwelling houses

Dwelling no.	No. of bedrooms Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & Iawn (m²)	Indigenous species (min area m²)	Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & Iawn (m²)	Indigenous species (min area m²)
Α	4+ 222	7	50	0	В	4+	222	7	50	0

## Schedule of BASIX commitments

1. Commitments for multi-dwelling housing

(a) Dwellings

(ii) Energy

(iii) Thermal Performance and Materials

2. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water

(ii) Energy

#### Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carriedout. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

(I) Water											Show on DA plans		specs	Certifier check
(a) The :	applicant mu	st comply w	ith the cor	nmitments lis	ted below in ca	rrying out the	developmen	of a dwelling	listed in a	table below.				
the"	Indigenous s	pecies" coli	mn of the	table below.	e species of ve as private land for the dwellin	scaping for th	at dwelling. (	This area of it	ndigenous		~		~	
	ating is speci fixture and a				or appliance to d for it.	be installed in	the dwelling	, the applican	t must en	sure that each			v	v
					ecirculation sys on or diversion"				roughout t	he dwelling.			V	v
(e) The	applicant mus	st install:												
	the 'HW	recirculatio	n or diven	sion" column	kitchen sinks a of the table bek	ow; and							•	-
(1	bb) a separat connect	the hot wat	tank (or to er diversio	anks) connec on tank to all	ted to the hot w toilets in the dw	ater diversion elling.	systems of a	d least 100 lit	res. The a	applicant must			•	~
(e) The :	applicant must below.	st not instal	a private	swimming po	ool or spa for the	dwelling, wi	th a volume e	xceeding tha	specified	for it in the	V		V	
(f) If spe	cified in the t	able, that p	ool or spa	(or both) mu	st have a pool c	over or shadi	ing (or both).						¥	
(g) The p	pool or spa m	nust be loca	ted as spe	scified in the	table.						v		v	
the t	able below. E	ach system	must be	configured to	ernative water so collect run-off f	rom the area	s specified (e	xcluding any	area which	supplies any			~	~
			Fixture	98		Appl	iances		Indiv	loog leubi			Individual	ера
Dwelling no.	All shower- heads	All toilet tlushing systems	All kitchen tops	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish- washers	Volume (max volume)	Pnol cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 6 but <= 7.5 1 (min)	4 star	4 star	4 star	-	-	-	-	-	-	-	-	-	-

			Alternative water sou	ırce					
Dwelling no.	Alternative water supply systems	Size		Landscape connection	Loilet connection (6)	n conn	dry ection	Pool top- up	Spa top-up
All dwellings	Individual water tank (No. 1)	Tank size (min) 2000 liters	To collect run-off from at least: 180 square metres of roof area;	уөв	yes	no		no	по
(II) Energy						Show on Caplans		w on CC/CDC s & specs	Certifier check
(b) The applica supplied by	int must install each hot water that system. If the table spe	er system specifiecifies a central h	pelow in carrying out the development of a dwelling ad for the dwelling in the table below, so that the dw ot water system for the dwelling, then the applicant water is supplied by that central system.	elling's hot wat	eris	V		v	V
			I laundry of the dwelling, the ventilation system spe the operation control specified for it in the table.	cified for that ro	om in			¥	~
headings or be such areas	f the "Cooling" and "Heating" nealing system is specified in	columns in the to the table for "Li-	n/s specified for the dwelling under the "Living area: able below, in/for at least 1 living/bedroom area of t ring areas" or "Bedroom areas", then no systems m conditioning system, then the system must provide	the dwelling. If n ay be installed i	n any			~	~
the table be lighting" for specified to	elow (but only to the extent s each such room in the dwel	pecified for that i ling is fluorescen then the light fittin	elling which is referred to in a heading to the "Artific oom or area). The applicant must ensure that the "p I lighting or light emitting diode (LED) lighting. If the ggs in that room or area must only be capable of bei	primary type of a term "dedicate	rtificial f" is			~	~

(II) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifler check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is filled with a window and/or skipfish.	~	~	~
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:			
(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and		¥	
(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		¥	
(h) The applicant must install in the dwelling:			
<ul> <li>(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances &amp; other efficiency measures" column of the table below;</li> </ul>		¥	1
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		v	¥
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		~	
<ul> <li>ii) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".</li> </ul>		¥	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	~	v	V

	Hot water	Bathroom ven	tilation system	Kitchen vent	ilation system	I aundry vent	ilation system
Dwelling no.	Hol water system	Liach bathroom	Operation control	Lach kilchen	Operation control	Lach faundry	Operation control
	gas instantaneous - 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off
	_						

			Coc	ling					llea	nting			Natural lig	phting
Dwelling n		living areas		bedroom	area	15	living	areas		bedro	oom areas	No. o	t bathrooms ilets	Main kitchen
All dwellings	5	1-phase airco ducted / 3 sta zone)	onditioning - er (average	1-phase a ducted / 3 zone)		average		se aircondi d / 3 star (a		1-pha ducted zone)	e airconditioning I / 3 star (average	3		yes
		In	dividual pool			Indivi	dual s	24			Appliances of	her efficienc	y measures	
Dwelling no.	Pooli	icating m	Pool Pump	lim	er	Spa licating system		Timer	Kilchen cooktople	ven	Dishwashu	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or onsheltered clothes drying line
All dwellings	-		-	-		-		-	gas cooktop electric over				no	no

Ewelling no.	output in peak kW)	trical Photovoltaic collector installa	ition On	entatio	n inputs	
All dwellings	-	-	-			
(iii) Thermal Performan	e and Materials			w on plans	Show on CC/CDC plans & specs	Certific
"Assessor Certificate" the applicant is apply	ach the certificate referred to under "Assessor detai to the development application and construction ce ag for a complying development certificate for the pr ssessor Certificate to the application for a final occu-	ertificate application for the proposed develor roposed development, to that application). T	opment (or, if The applicant			
(b) The Assessor Certific	te must have been issued by an Accredited Assess	or in accordance with the Thermal Comfort	Protocol.			
	osed development on the Assessor Certificate mus- ne details shown in the "Thermal Loads" table below		BASIX			
the Thermal Comfort	ow on the plans accompanying the development ap Protocol requires to be shown on those plans. Those to certify that this is the case.			•		
certificate, if applicable	ow on the plans accompanying the application for a a), all thermal performance specifications set out in are used to calculate those specifications.				~	
Certificate, and in acc	struct the development in accordance with all them ordance with those aspects of the development app used to calculate those specifications.				~	~
(g) Where there is an in-	lab heating or cooling system, the applicant must:		19	~	~	-
(III) Thermal Performanc	e and Materials		5hov DA p		Show on CC/CDC plans & specs	Certifie
(aa) Install Insulat	on with an R-value of not less than 1.0 around the w	ertical edges of the perimeter of the slab; or				
(bb) On a suspend	ed floor, install insulation with an R-value of not less	than 1.0 underneath the slab and around t	he vertical			
edges of the	perimeter of the slab.					
	perimeter of the slab. Instruct the floors and walls of the development in ac	cordance with the specifications listed in the	e table below.		•	v
(h) The applicant must co	THE RESERVE OF THE PERSON NAMED IN COLUMN TWO IS NOT THE PERSON NAMED IN COLUMN TWO IS NAMED IN COLUMN TW	•	he locations of	,	~	~

		Thermal loads	
welling no.	Area adjusted heating load (in MJ/m/yr)	Area adjusted cooling load (in MJ/m/yr)	Area adjusted total load (in MJ/m <sup>-</sup> /Vr)
4	34.5	25.3	59.800
		I hermal loads	
Dwelling no.	Area adjusted heating load (in M.Fin'/yr)	Area adjusted cooling load (in MJ/m?lyr)	Area adjusted total load (in M-Fin'/yr)
All other dwellings	39.1	20.5	59.600

owening no.	(m²)	rate aign on floor		oor (m*)	enclosed sub		parage (m*)	inour above	mudbrick wa	
All dwellings	129		1-						na	
	Floor types									
		Concrete	slab on ground		Suspended flo	or above encl	osed subfloor	Suspended I	loor above op	en subfloor
Dwelling no.	Area (m²)	Insulation	Low	Dematerialisation	Construction	Area (m²)	Insulation	Construction	Atea (m²)	Insulation

		Concrete	slab on ground	d	Suspended flo	or above encl	osed subfloor	Suspended	lloor above op	en subfloor
Dwelling no.	Area (m²)	Insulation	l ow emissions option	Dematerialisation	Construction type	Area (m²)	Insulation	Construction type		Insulation
All dwellings	129	-	-	conventional slab	[-	-	-		-	
	Floor types									
	Lirst ti	oor above habite		Suspended floor	above garage			Garage floor		

First floar above hatriaties   Stepenhed floor above garage   Cartage floor		Fidoi typos										
On. Type type type type type type type type t			rooms or mezzanine					Garage Hoor				
softwood, batts or roll on ground, frame: Imber - unitested - unitested			Area (m²)	Insulation		Area (m-)	Insulation		Area (m¹)	insulation	emissions	Dematerialisation
	All dwellings	softwood, frame: timber - untreated	111		-	-		on ground, frame: timber - untreated	18	-	-	conventional slab

	External walls									
		I xten	nal wall type 1		l xiernal wall type 2					
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option		
All dwellings	brick veneer, frame : timber	177	fibreglass batts or roll	-	-	1-	1-	-		
	External walls									
		I xtern	al wall type 1			I xterr	nal wall type 2			
Dwelling no.	Wall type	Area (m²)	Insulation	I ow emissions option	Wall type			I ow emissions option		
	- untreated softwood									

Lxternal wall type 3				i xternal y	vall type 4		
Wall type	Area (m²)		Low emissions option	Wall type			I ow emissions option
	-	ļ-	-	-	-	-	[-
		Wall lype Area (m²)	Wall type Area (m²) Insulation	Wall type Area (m²) Insulation I ow emissions option	Wall type Area (m기 Insulation Low emissions order	Mall type   Area (m²)   Insulation   I ow enissions option   Wall type   Area (m²)	Wall type Area [m7] Insulation from emissions Wall type Area [m7] Insulation updots

	Internal walls								
	Internal walls shared with garage				Internal wall type 1			Internal wall type 2	
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (mf)	Insulation	Wall type	Area (m1)	Insulation
All dwellings	plasterboard, frame: timber - untreated softwood	10	fibreglass batts or roll	plasterboard, frame: timber - untreated softwood	95	fibreglass batts or roll	plasterboard, frame: timber - untreated softwood	116	

	Fla	t ceiling / pitched	roof	Raked cei	ling/pitched or s	killion roof	F	Tat ceiling / Nati	oof
Ewelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Construction type	Area (m+)	Insulation
All dwellings	framed - metal roof, frame: timber - untreated softwood	135	Ceiling:fibreglass batts or roll,Roof: foil backed blanket	-		Celling:,Roof:	-	-	Celling:,Roof:

	Glazing type							
Owelling no.	Single glazing (m²)	Double glazing (III')	triple glazing (m²)	Aluminium frames (m²)	Timber frames (tn')	uPVC frames (m²)	Steel frames (m²)	Composite frames (m²)
All dwellings	41	-		41	ļ-	-	-	- 1

ents for common areas and central systems/facilities for the development (non-building specific)

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		v	v
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	~	~	~
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.		~	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		~	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		~	-
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		- 4	

	Showerheads rating	Toilets rating	Taps rating	Ck	thes washers rating			
All common areas	no common facility	no common facility	no common facility	no t	ommon laundry facility			
(II) Energy					Show on DA plans	Show on CC/CDC plans & specs	Certifler	
		cant installs a ventilation system to service ype specified for that common area, and m				V	~	
in the table b	elow, the lighting specified for t	nt must install, as the "primary type of artifi hat common area. This lighting must meet ing control system or Building Managemen	the efficiency measure specifie	d. The		~	-	

. In these commitments, "applicant" means the person carrying out the development.

. Commitments identified with a \*\* in the \*Show on CC/CDC plans and specs\* column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "V\*" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (attive interm or final) for a building state in this certificate, or for any part of such a building, unless it is statisted that each of the commitments whose fulfill is a required to musting in relation by the building or act. In see been fulfilled).

Common area landacena		
Common area landscape		
Common area lawn (m²)	0	
Common area garden (m²)	0	
Area of indigenous or low water use species (m²)	0	
Assessor details and therm	al loads	
Assessor number	HERA10095	
Certificate number	OQLHEVHFLC	
Climate zone	28	
Project score		
Water	<b>✓</b> 43	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 70	Target 70
Materials	✓ -20	Target n/a

# **BASIX** Certificate

Building Sustainability Index www.basix.nsw.gov.au

# Multi Dwelling

Certificate number: 1763542M





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No	AMENDMENTS	Ву	Date
Α	FOR CLIENT APPROVAL	AM	25.07.24
В	FOR CLIENT APPROVAL	AM	19.08.24
C	FOR CLIENT APPROVAL	AM	28.08.24
D	FOR DA APPROVAL	AM	05.09.24





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■ PROJECT:
PROPOSED ATTACHED DWELLING
No-4 Karachi St.

Riverstone-NSW 2766 CLIENT:

THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE :

BASIX REQUIREMMENTS

DRAWN: CHECKED: AMIN DATE: 25.07.2024 DRAWING No's: SCALE:

PROJECT No:

TOTAL BOTH LOT AREAS

= 300.00+300.00= 600.00 s.q.m.

SCALE 1:100 METRES



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No	AMENDMENTS	Ву	Date
Α	FOR CLIENT APPROVAL	AM	25.07.24
В	FOR CLIENT APPROVAL	AM	19.08.24
C	FOR CLIENT APPROVAL	AM	28.08.24
D	FOR DA APPROVAL	AM	05.09.24

STRE





## JAL DESIGN PTY LTD

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■ PROJECT:
PROPOSED ATTACHED DWELLING
No-4 Karachi St.
Riverstone-NSW 2766

## CLIENT:

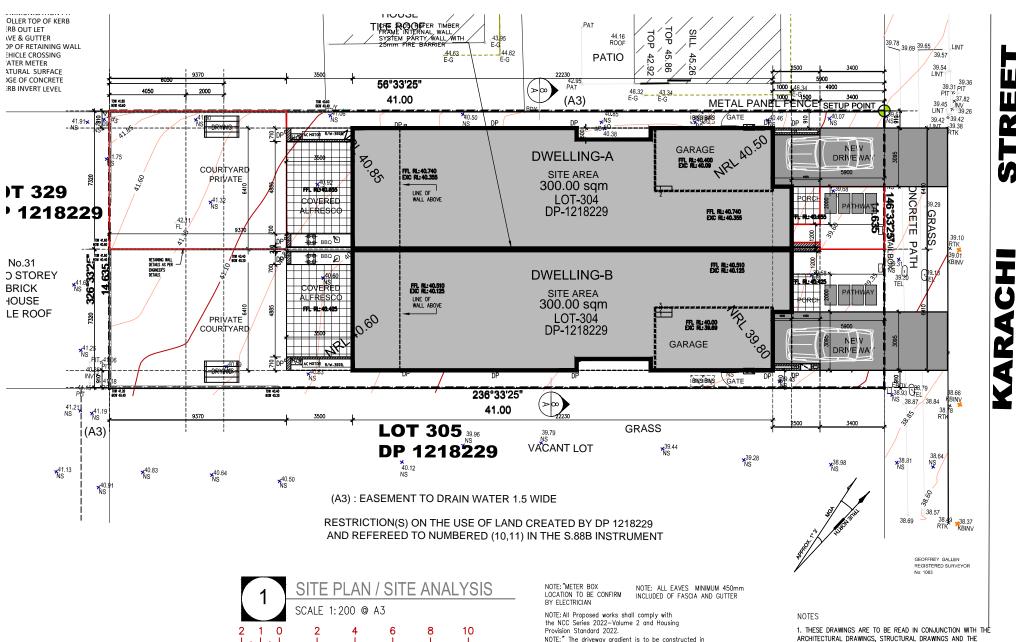
THE TRUSTEE OF PV004 PTY LTD

# DRAWING TITLE :

SUBDIVISION PLAN

DRAWN:	AM	
CHECKED:	AMIN	
DATE:	25.07.2024	DRAWING No's:
SCALE:	AS SHOWN	7

PROJECT No:



SCALE 1:100 METRES

NOTE: All Proposed works shall comply with the NCC Series 2022—Volume 2 and Housing Provision Standard 2022.

NOTE: "The driveway gradient is to be constructed in according with the council specification. Provide a grating to the front of the garage to avoid expressive relating the paragrap." stormwater entering the garage

SPECIFICATON.

CONTRACTORS EXPENSE.

2. PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR SHALL SATISFY HIMSELF OF THE CORRECT LOCATION OF EXISTING SERVICES WHETHER INDICATED OR NOT ON THE PLANS. ANY

DAMAGE TO EXISTING SERVICES SHALL BE RECTIFIED AT THE

3 TRAFFIC MANAGEMENT MEASURES HAVE TO BE IMPLEMENTED

AND MAINTAINED DURING CONSTRUCTON, ALL IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN SAFE PEDESTRIAN ACCESS ALONG THE FOOTPATH. 4. THE CONTRACTOR SHALL EFFECT TEMPORARY DRAINAGE MEASURES TO AVOID LOCALISEDPONDING OF SURFACE RUN-OFF

5. REFER TO ARCHITECT'S DRAWINGS FOR ALL DETAILS (LEVELS, GRADING ETC.) OF DRIVEWAYS, CONCRETE ANDPAYED AREAS,

6. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILS

7. ALL SWDPIPES ARE UPVC AT 1.0% MINIMUM GRADE (UNO).

9. ALL PITS LOCATED IN TRAFFICABLE AREAS, (IE, DRIVEWAYS) TO HAVE MEDIUM DUTY GRATED COVERS SUITABLE FOR WITHSTANDING LOADS ASSOCIATED WITH SMALL TRUCKS.

10. PROVIDE STEP IRONS TO ALL PITS GREATER THAN 1.2m DEEP.

11. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF

HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED. 13. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES. ALL SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALI DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE

12. TOPSOIL SHALL BE STRIPPED DN STOCKPILED OUTSIDE

14. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.

8. SWDPITS CAN BE PRE-CAST SIZED AS FOLLOWS:

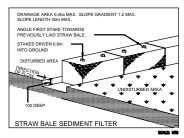
AND RETAINING WALL TYPES AND LOCATIONS.

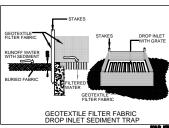
AND EXTENT OF ALL LANDSCAPED AREAS.

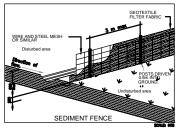
450mm SQ. UP TO 600mm DEEP 600mm SQ. UP TO 1000mm DEEP

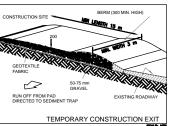
	CALCULATION DIAGRA	AM	
SITE AREA	= 600.00 s	.q.m.	
_	DWELLING-A	DWELLING-B	TOTAL
LAND AREA	= 300.00	= 300.00	=600.00 s.q.m.
REQUIRED F.F SITE COVERAGE 50%=300.00 squ	m = 150.00 sqm	= 150.00 sqm	
PROPOSED F.F SITE COVERAGE 41%=246.00 s	qm = 123.00 sqm	= 123.00 sqm	
REQUIRED LANDSCAPE AREA 15%=90.00 sqm	= 45.00 sqm	= 45.00 sqm	
PROPOSED LANDSCAPE AREA 27.19%=163.12 s	sqm = 81.56 sqm	= 81.56 sqm	
REQUIRED PRIVATE OPEN SPACE AREA	= 16.00 sqm	= 16.00 sqm	
PROPOSED PRIVATE OPEN SPACE AREA	= 68.56 sqm	= 68.56 sqm	
GROUND FLOOR	= 120.00	= 120.00	
FIRST FLOOR	= 123.00	= 123.00	
TOTAL G.F + F.F AREA	= 243.00	= 243.00	486.00 s.q.m.
GARAGE AREA	= 20.70	= 20.70	41.40 s.q.m.
TOTAL AREA	= 263.70	= 263.70	527.40 s.q.m.
PORCH	= 3.00	= 3.00	6.00 s.q.m.
COVERED ALFRESCO	= 22.00	= 22.00	44.00 s.q.m.
BALCONY	= 7.65	= 7.65	15.30 s.q.m.
GRAND TOTAL AREA	= 296.35	= 296.35	592.70 s.q.m.
CAR PARKING REQUIRED	= 2	= 2	
CAR PARKING PROVIDED	= 2	= 2	

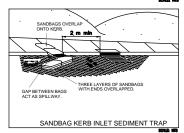
# SEDIMENT CONTROL



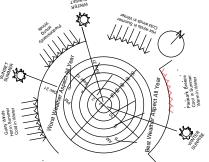








#### **CLIMATIC SITE ANALYSIS**





Copyright: Do not scale drawings - All measurements shall be verified onsite by registered surveyor and certified by the Designer. If you are unsure always contact the Designer.

#### REVISION :

No	AMENDMENTS	Ву	Date
Α	FOR CLIENT APPROVAL	AM	25.07.24
В	FOR CLIENT APPROVAL	AM	19.08.24
C	FOR CLIENT APPROVAL	AM	28.08.24
D	FOR DA APPROVAL	AM	05.09.24



MBDAA # 9831-22



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www.jaldesign.com.a	ıu	AB	N:14 646 869 187

# PROJECT: PROPOSED ATTACHED DWELLING No-4 Karachi St.

#### Riverstone-NSW 2766 CLIENT

THE TRUSTEE OF PV004 PTY LTD

#### DRAWING TITLE :

SITE PLAN/SITE ANALYSIS PLAN SEDIMENT CONTROL PLAN AREA CALCULATION DATA

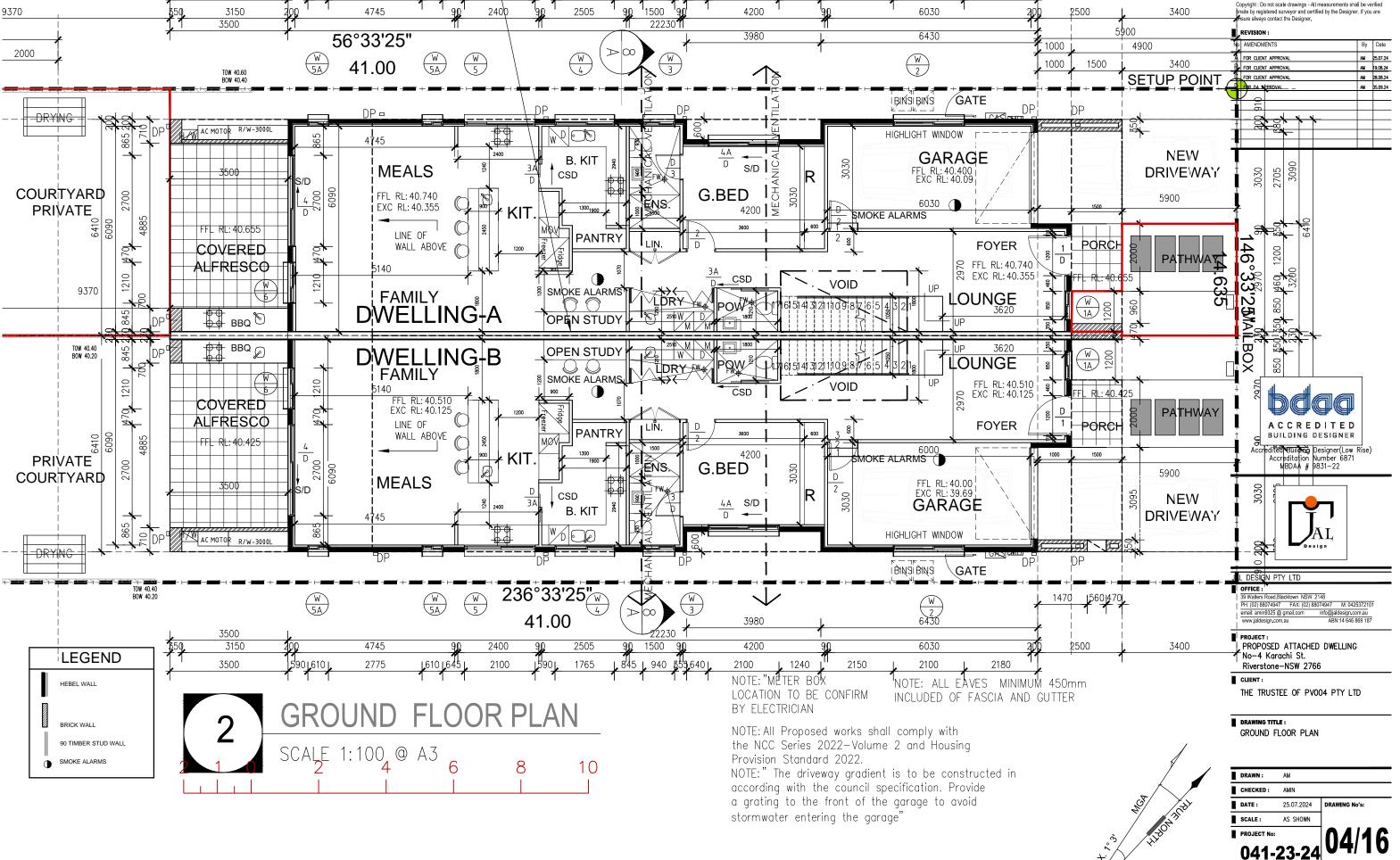
DRAWN:	AM	
CHECKED:	AMIN	
DATE:	25.07.2024	DRAWING No's:
SCALE:	AS SHOWN	

041-23-24 03/16

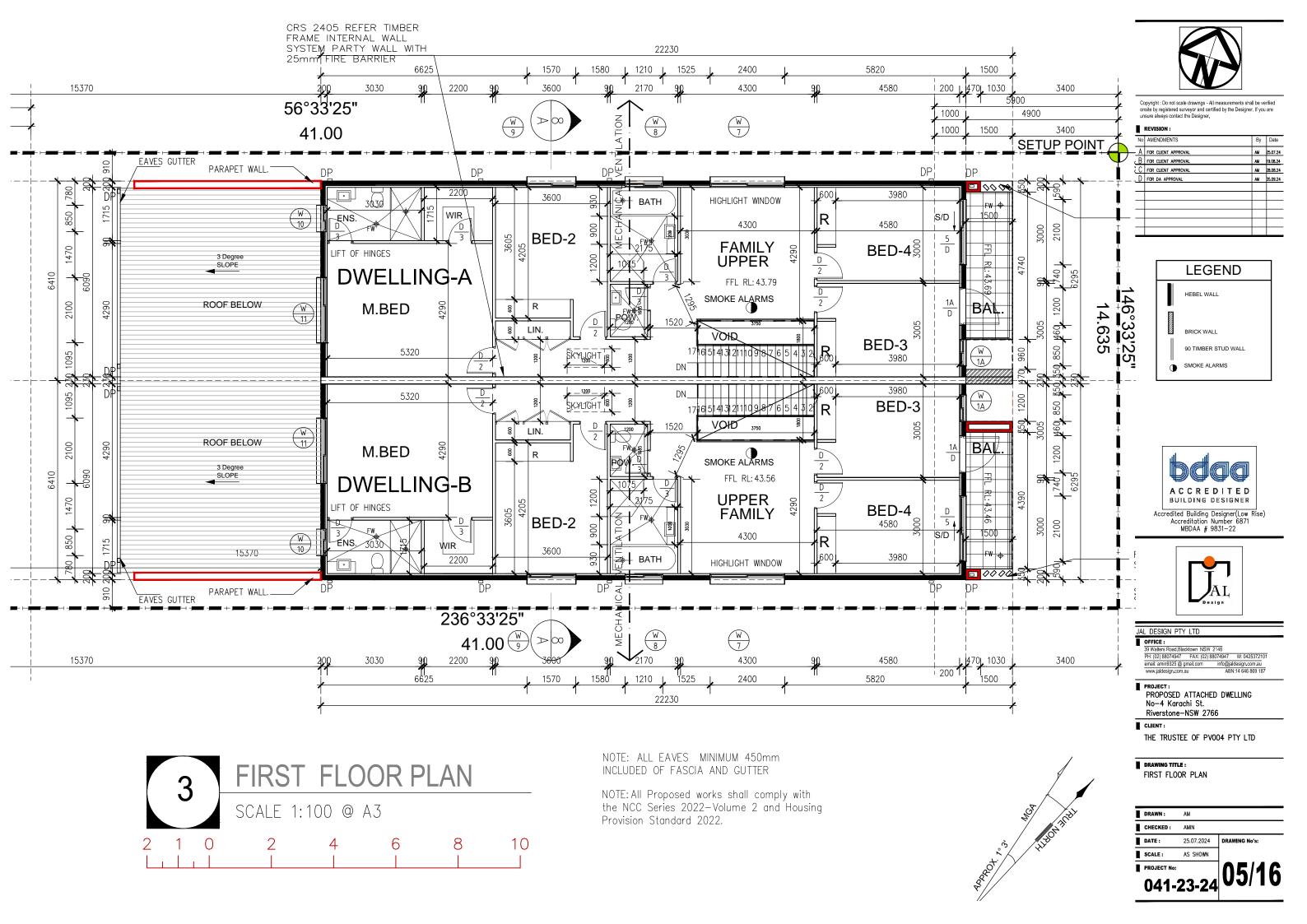


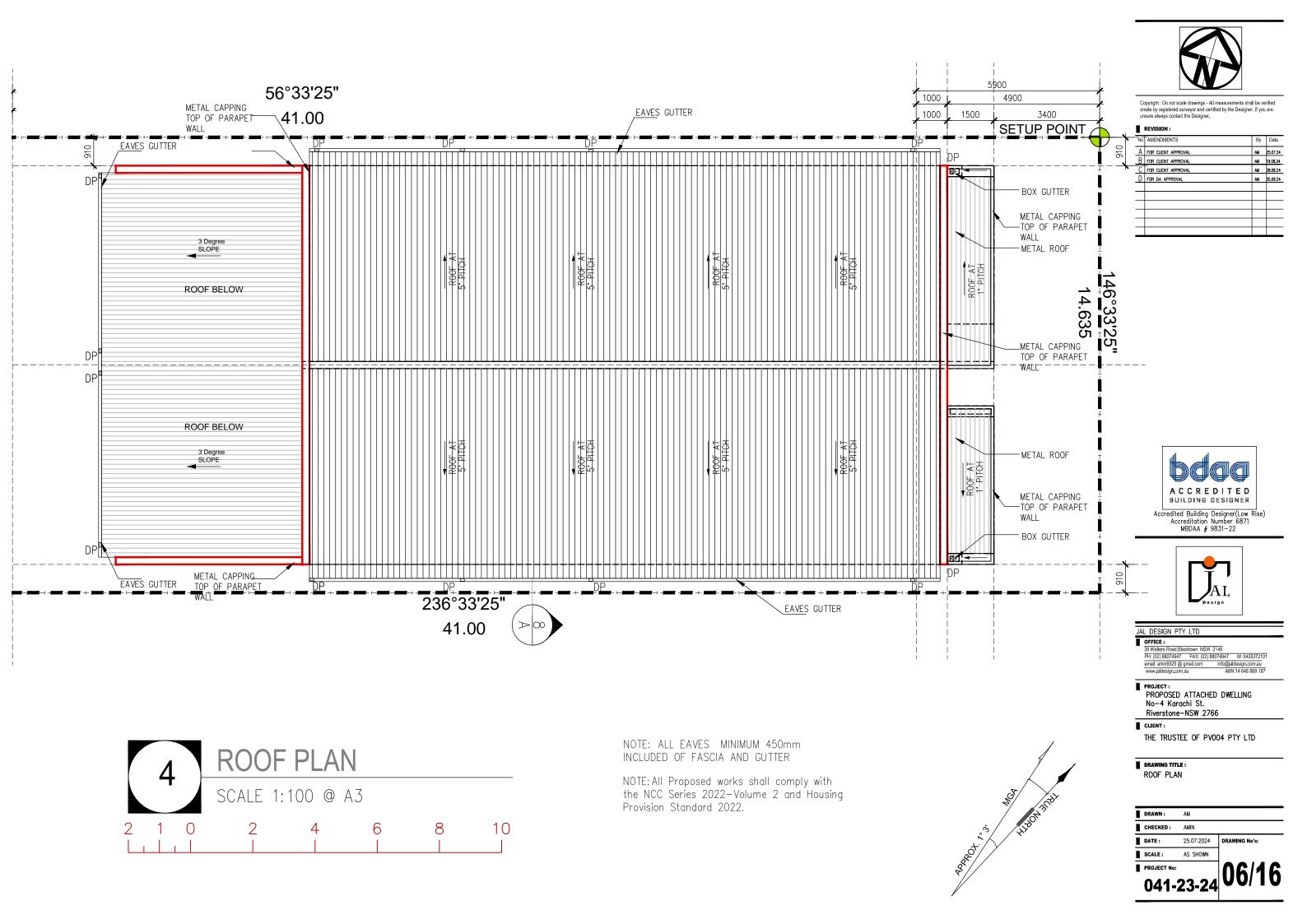
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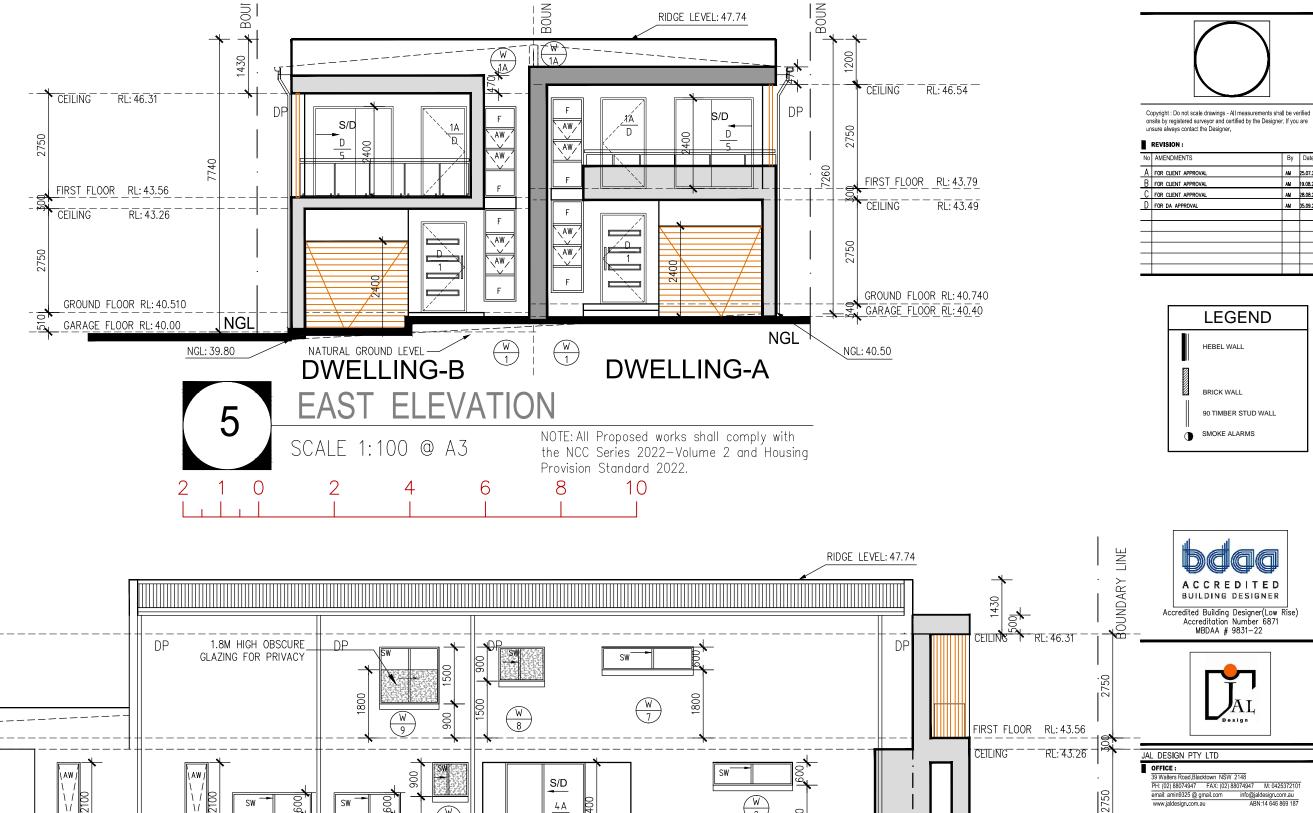
CRS 2405 REFER TIMBER FRAME INTERNAL WALL SYSTEM PARTY WALL WITH 25mm FIRE BARRIER 1765 .845 | 940 \$55,640 | 2100 2150 2100 1240 4745 2400 2505 1500 4200 6030 2500 3400 22230 5900 REVISION 3980 6430 56°33'25" AMENDMENTS 4900 1000 W 5  $\frac{W}{2}$ FOR CLIENT APPROVA 1000 1500 3400 41.00 FOR CLIENT APPROVA SETUP POINT FOR CLIENT APPROVA OR DA APPROVAL /GATE I BINSI BINS HIGHLIGHT WINDOW NEW **GARAGE** B. KIT S/D **MEALS** 3030 FFL RL: 40.400 EXC RL: 40.09 DRIVEWAY CSD NS. **G.BED** FFL RL: 40.740 5900 6030 EXC RL: 40.355 4200 | \( \bullet \) **KIT** SMOKE ALARMS W/PAT-LINE OF **PANTRY FOYER PORCH** WALL ABOVE PATHWAY FFL RL: 40.740



3500



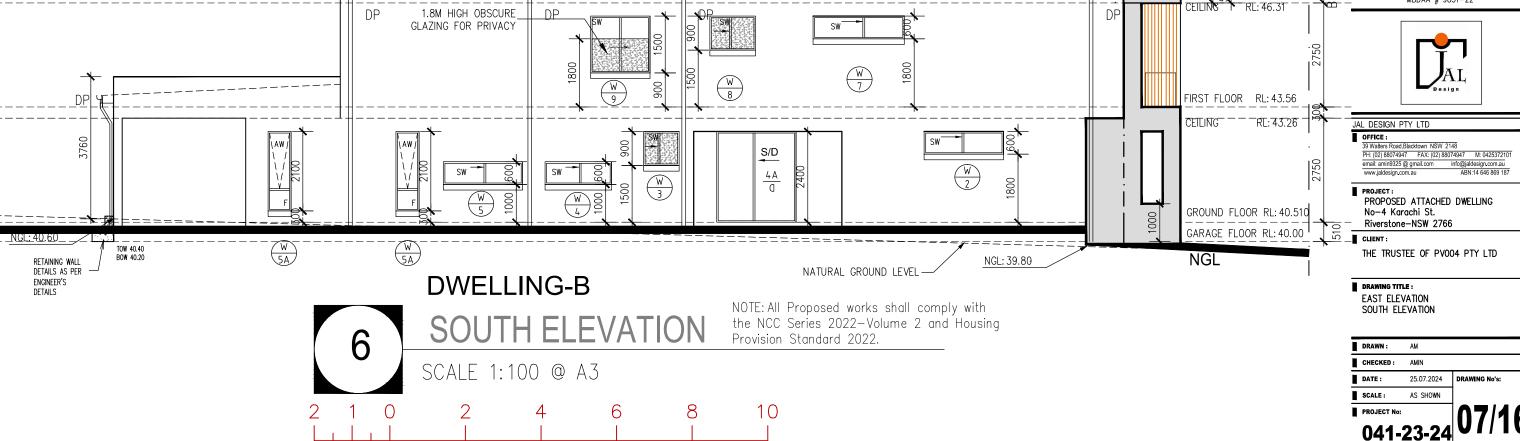


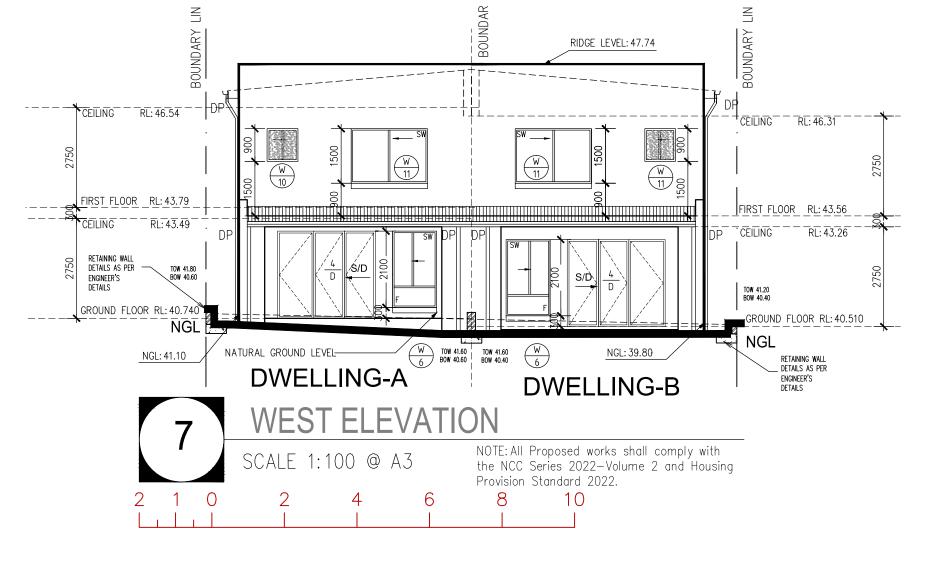


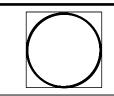
AM 25.07.24 AM 19.08.24

AM 28.08.24

AM 05.09.24







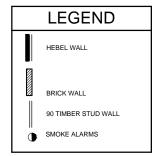
#### REVISION:

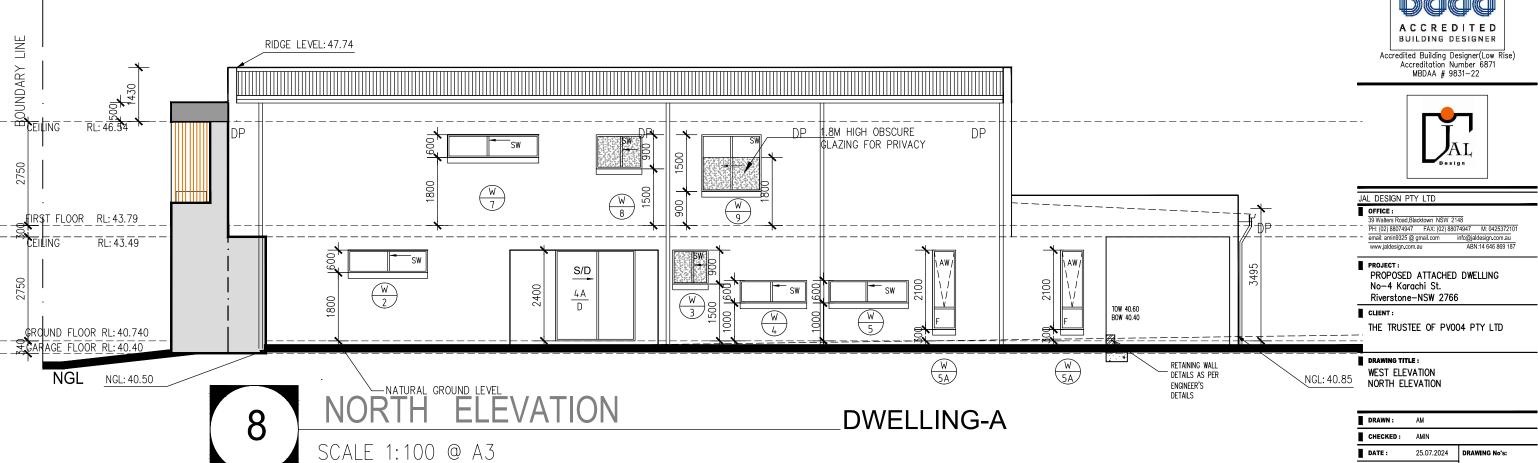
SCALE:

PROJECT No:

041-23-24

•	No	AMENDMENTS	Ву	Date
	Α	FOR CLIENT APPROVAL	AM	25.07.2
	В	FOR CLIENT APPROVAL	AM	19.08.2
	C	FOR CLIENT APPROVAL	AM	28.08.2
	D	FOR DA APPROVAL	AM	05.09.2





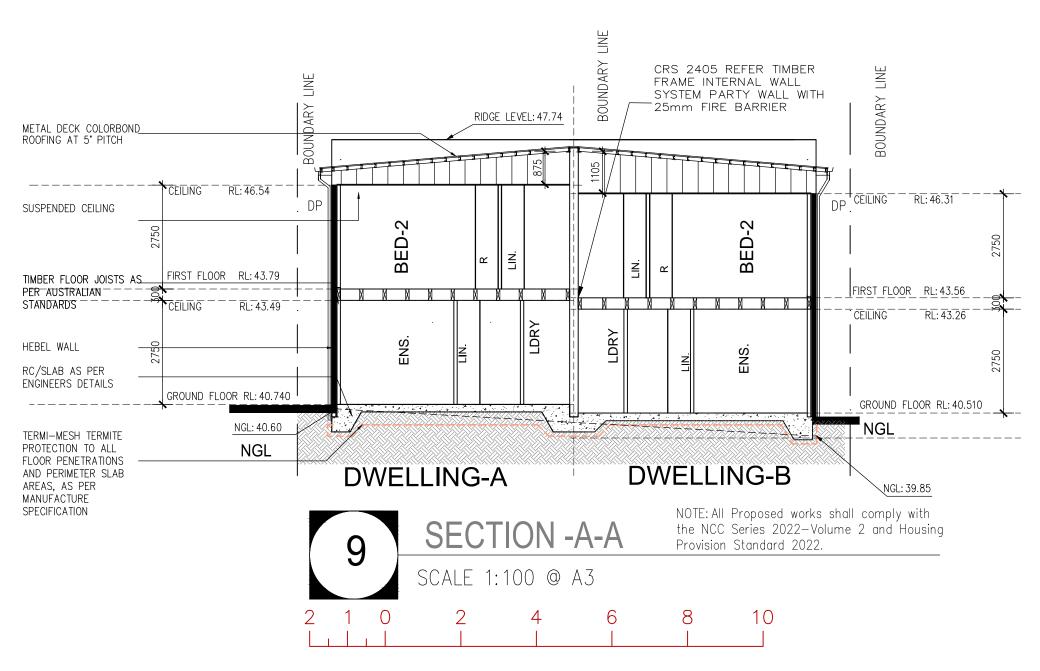
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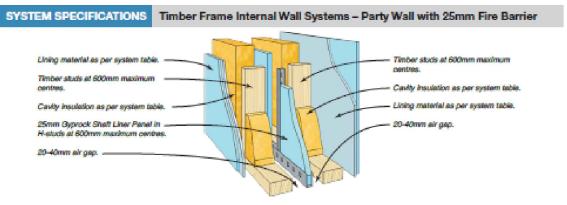
NOTE: All Proposed works shall comply with

Provision Standard 2022.

the NCC Series 2022-Volume 2 and Housing



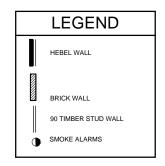
SYSTEM SPECIFICATION Refer to GYP513 Gyprock Party Wall Installation Guide for further information		ACOUSTIC OPINION: PKA Predictor V16 Discontinuous Construction			
FRL	SYSTEM		STUD DEPTH mm	70	90
Report/Opinion	Nº	WALL LININGS	CAVITY INFILL (Both Sides) (Refer to TABLE B13)	R <sub>W</sub> / F	lw+Ctr
60/60/60 (from both sides)	CSR 2405	BOTH SIDES • 1 x 10mm Gyprodk	(a) 75 Gold Batts 2.0 (b) 90 Gold Batts 2.7 (c) 88 Soundscreen 2.5	62/49 64/51 65/52	63/51 65/53 66/54
EWFA 45743		Superchek Plasterboard.	(e) 110 Acoustigard 2.5	64/51	65/53
			Minimum Wall Thickness mm	225	265





#### REVISION:

No	AMENDMENTS	Ву	Date
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С	FOR CLIENT APPROVAL	AM	28.08.24
D	FOR DA APPROVAL	AM	05.09.24





Accredited Building Designer(Low Rise)
Accreditation Number 6871
MBDAA # 9831-22



## JAL DESIGN PTY LTD

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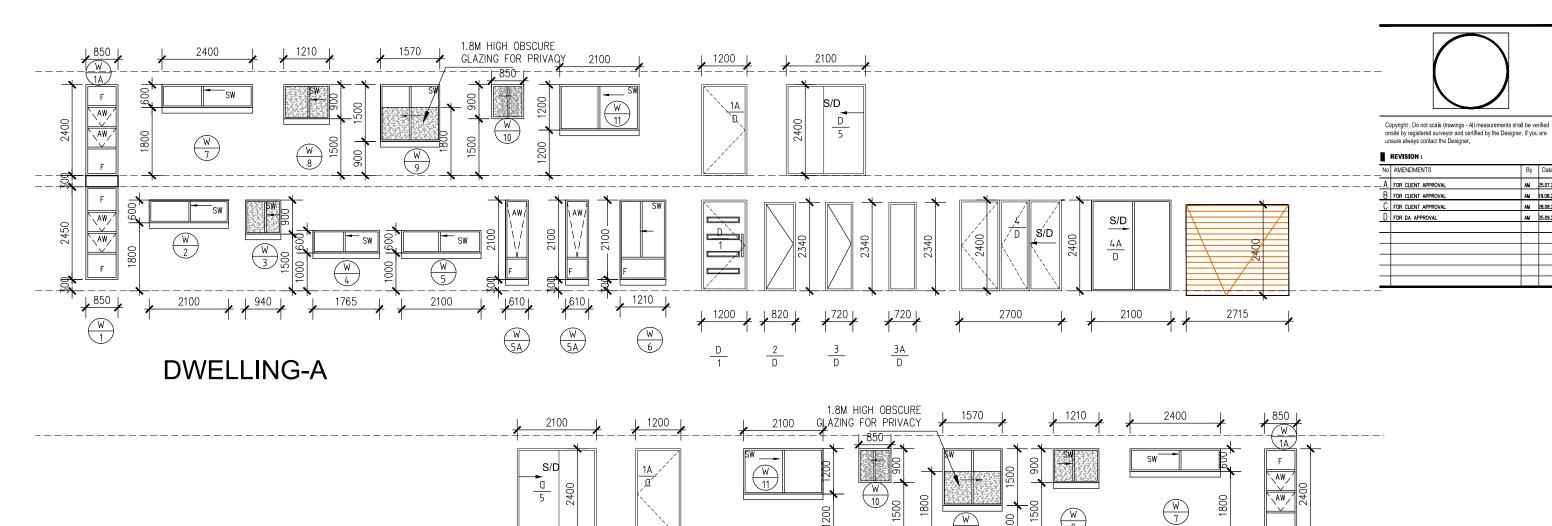
# PROJECT: PROPOSED ATTACHED DWELLING No-4 Karachi St. Riverstone-NSW 2766

## CLIENT:

THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE:
SECTION—A—A

	041-	23-24	טוועט
Į	PROJECT No:		100/4 G
	SCALE:	AS SHOWN	
	DATE:	25.07.2024	DRAWING No's:
1	CHECKED:	AMIN	
1	DRAWN:	AM	



ACCREDITED BUILDING DESIGNER Accredited Building Designer(Low Rise)
Accreditation Number 6871
MBDAA # 9831-22

AM 25.07.24 AM 19.08.24

AM 28.08.24 AM 05.09.24



JAL DESIGN PTY LTD

\AW\_

**DWELLING-B** 

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■ PROJECT:
PROPOSED ATTACHED DWELLING
No-4 Karachi St. Riverstone-NSW 2766

CLIENT:

THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE :

WINDOW AND DOOR SCHEDULE

	041-	23-24	10/10
I	PROJECT No:		10/16
	SCALE:	AS SHOWN	
	DATE:	25.07.2024	DRAWING No's:
	CHECKED:	AMIN	
1	DRAWN:	AM	

STEEL SUPPORT TO ENGINEERS DRAWING ALUMINUM TRIM (COVER PLATE) MATCH WITH WINDOW FRAME

 $\frac{W}{5A}$ 

 $\frac{W}{5A}$ 

1210

 $\frac{\mathbb{W}}{6}$ 

1200

1

\_<u>2</u>

W 5

1765

NOTE: All Proposed works shall comply with the NCC Series 2022-Volume 2 and Housing Provision Standard 2022.



S/D

2340

<u>AE</u>

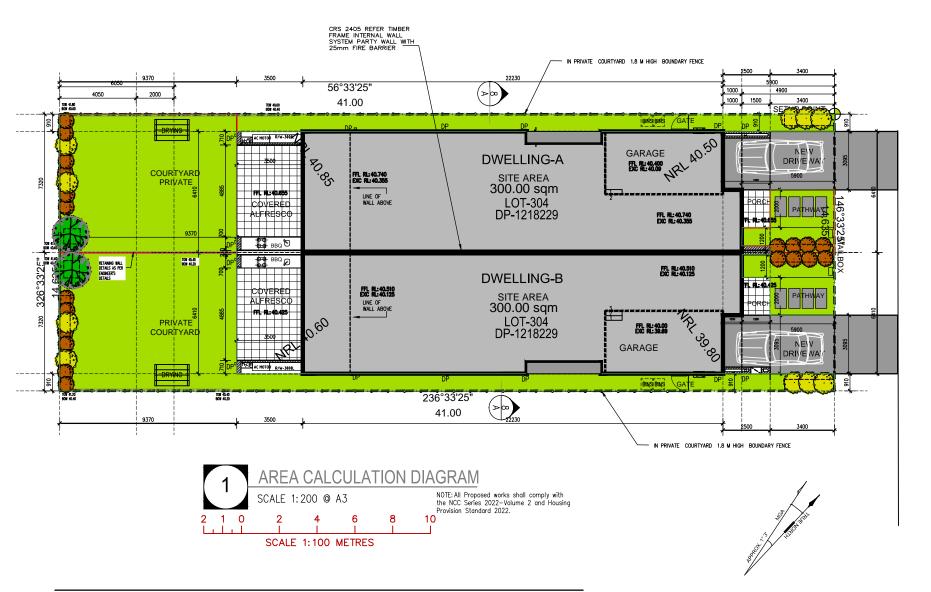
<u>3</u>

MANUFACTURER PRIOR TO COMMENCEMENT OF ANY WORK.

ALL WINDOWS ARE VIEWED FROM THE OUTSIDE.

S/D

4A 0



C	CALCULATION DIAGRA	M	
SITE AREA	= 600.00 s.d	μ.m.	
	DWELLING-A	DWELLING-B	TOTAL
LAND AREA	= 300.00	= 300.00	=600.00 s.q.m.
REQUIRED F.F SITE COVERAGE 50%=300.00 sqm	= 150.00 sqm	= 150.00 sqm	
PROPOSED F.F SITE COVERAGE 41%=246.00 sqm	= 123.00 sqm	= 123.00 sqm	
REQUIRED LANDSCAPE AREA 15%=90.00 sqm	= 45.00 sqm	= 45.00 sqm	
PROPOSED LANDSCAPE AREA 27.19%=163.12 sqm	= 81.56 sqm	= 81.56 sqm	
REQUIRED PRIVATE OPEN SPACE AREA	= 16.00 sqm	= 16.00 sqm	
PROPOSED PRIVATE OPEN SPACE AREA	= 68.56 sqm	= 68.56 sqm	
GROUND FLOOR	= 120.00	= 120.00	
FIRST FLOOR	= 123.00	= 123.00	
TOTAL G.F + F.F AREA	= 243.00	= 243.00	486.00 s.q.m.
GARAGE AREA	= 20.70	= 20.70	41.40 s.q.m.
TOTAL AREA	= 263.70	= 263.70	527.40 s.q.m.
PORCH	= 3.00	= 3.00	6.00 s.q.m.
COVERED ALFRESCO	= 22.00	= 22.00	44.00 s.q.m.
BALCONY	= 7.65	= 7.65	15.30 s.q.m.
GRAND TOTAL AREA	= 296.35	= 296.35	592.70 s.q.m.
CAR PARKING REQUIRED	= 2	= 2	
CAR PARKING PROVIDED	= 2	= 2	



#### REVISIO

STREET

KARACHI

No	AMENDMENTS	Ву	Date
Α	FOR CLIENT APPROVAL	AM	25.07.24
В	FOR CLIENT APPROVAL	AM	19.08.24
С	FOR CLIENT APPROVAL	AM	28.08.24
D	FOR DA APPROVAL	AM	05.09.24



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Accreditation Number 6871
MBDAA # 9831-22



## JAL DESIGN PTY LTD

2148
38074947 M: 0425372101
info@jaldesign.com.au
ABN:14 646 869 187

■ PROJECT:
PROPOSED ATTACHED DWELLING
No-4 Karachi St.
Riverstone-NSW 2766

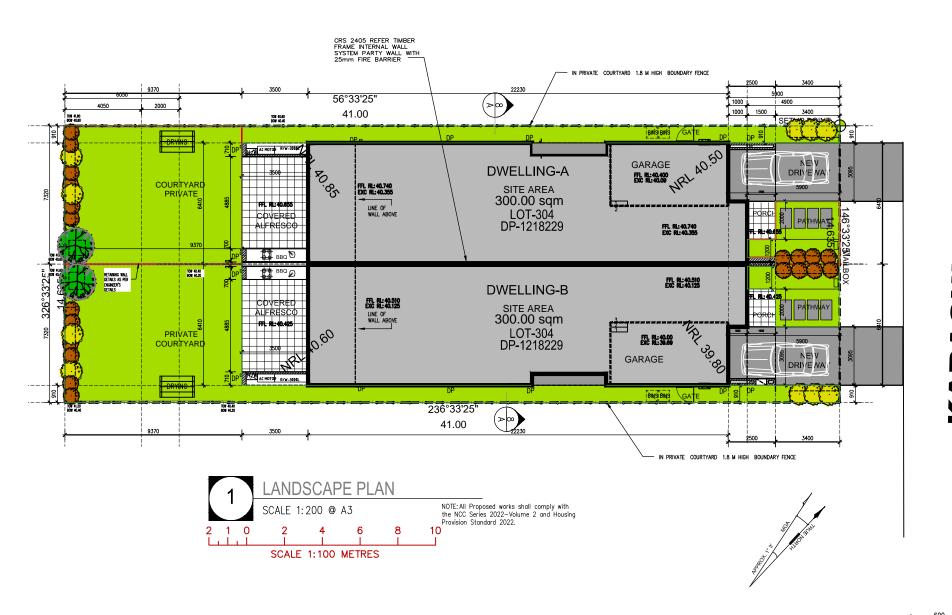
## CLIENT:

THE TRUSTEE OF PV004 PTY LTD

#### DRAWING TITLE :

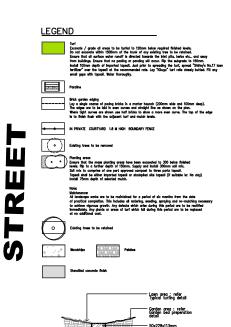
AREA CALCULATION DIAGRAM

	041-2	23-24	1 1/ 10
	PROJECT No:		11/16
I	SCALE:	AS SHOWN	
I	DATE:	25.07.2024	DRAWING No's:
I	CHECKED:	AMIN	
l	DRAWN:	AM	

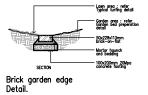


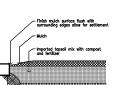
# **PLANT SCHEDULE & LEGEND:**

LEGEND	CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT RANGE	INSTALLATION SIZE	QUANTITY
TREE; SHRUBS & PLANTS						
	Csu	Callistemon subulatus	Dwarf Bottlebrush	1.0 - 2.0 M	5 Liter	2 Nos
0	Om	Olearia microphylla	Small-leaved Daisy Bush	1 M	15 Liter	10 Nos
GROUND COVER						
0	Oj	Ophiopogon japonicus	Mondo Grass		150 mm Pot	20 Nos

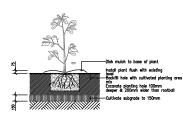


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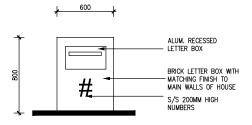




Ground preparation Planting area using imported topsoil Detail. No.To.Scale.



Planting in garden beds







REVISION: No AMENDMENTS

A FOR CLIENT APPROVAL

B FOR CLIENT APPROVAL

C FOR CLIENT APPROVAL

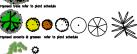
D FOR DA APPROVAL

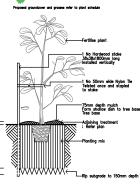
By Date

AM 25.07.24 AM 19.08.24

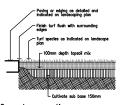
AM 28.08.24

AM 05.09.24

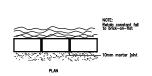




15 - 35 litre Tree planting



Ground preparation Grassed area: turf using imported topsoil Detail. Not.Ta.Scole.







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www.jaldesign.com.	au	ABN:14 646 869 187

PROJECT:
PROPOSED ATTACHED DWELLING
No-4 Karachi St. Riverstone-NSW 2766

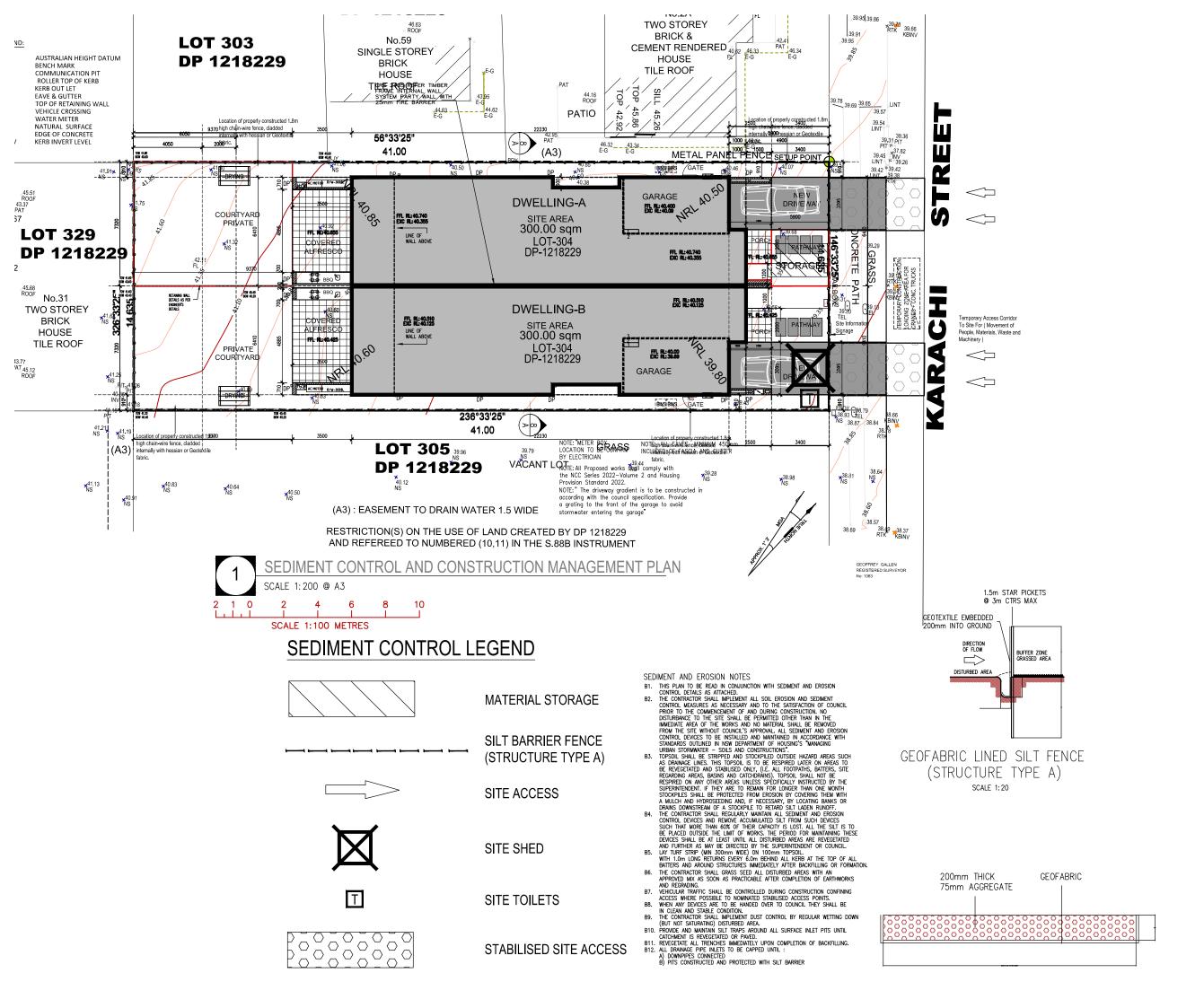
CLIENT:

THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE : LANDSCAPE PLAN

DRAWN:	AM	
CHECKED:	AMIN	
DATE:	25.07.2024	DRAWING No's:
SCALE:	AS SHOWN	
_		7 <b></b>

041-23-24 12/16





#### REVISION:

No	AMENDMENTS	Ву	Date
Α	FOR CLIENT APPROVAL	AM	25.07.24
В	FOR CLIENT APPROVAL	AM	19.08.24
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D	FOR DA APPROVAL	AM	05.09.24





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PROJECT:
PROPOSED ATTACHED DWELLING
No−4 Karachi St.
Riverstone−NSW 2766

CLIENT:

THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE :

CONSTRUCTION MANAGEMENT PLAN

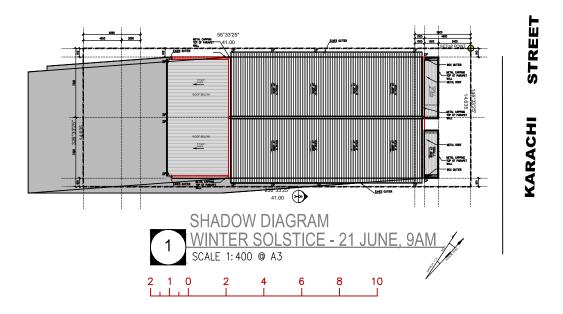
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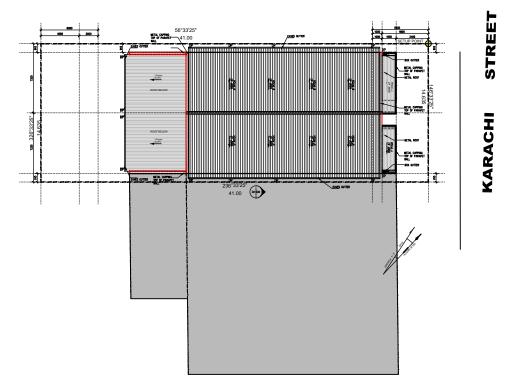
CHECKED: AMIN

DATE: 25.07.2024

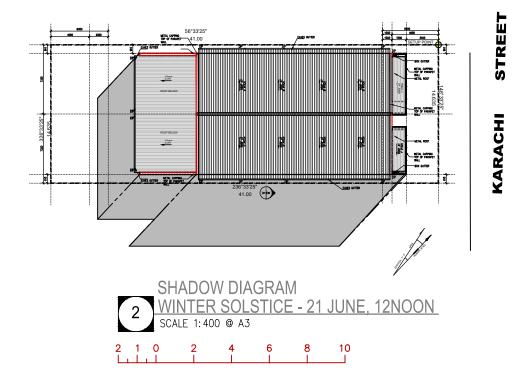
SCALE: AS SHOWN

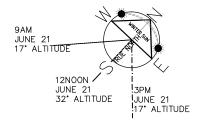
PROJECT No:











SUN ANGLE INFORMATION			
Winter Solstice On June 21st			
TIME	ALTITUDE	AZIMUTH	
9 AM	17 °	42 <b>°</b> E OF N	
12 NOON	32 <b>°</b>	0 <b>º</b> NORTH	
3 PM	17 <b>°</b>	42° W OF N	



# REVISION:

No	AMENDMENTS	Ву	Date
Α	FOR CLIENT APPROVAL	AM	25.07.24
В	FOR CLIENT APPROVAL	AM	19.08.24
C	FOR CLIENT APPROVAL	AM	28.08.24
D	FOR DA APPROVAL	AM	05.09.24





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email: amin9325 @ gmail.com info@ja	ldesign.com.au
www.jaldesign.com.au ABN	1:14 646 869 187
<b>OFFICE:</b> 39 Walters Road,Blacktown NSW 2148 PH: (02) 88074947 FAX: (02) 88074947 email: amin9325 @ gmail.com info@ja	ldesign.com.au

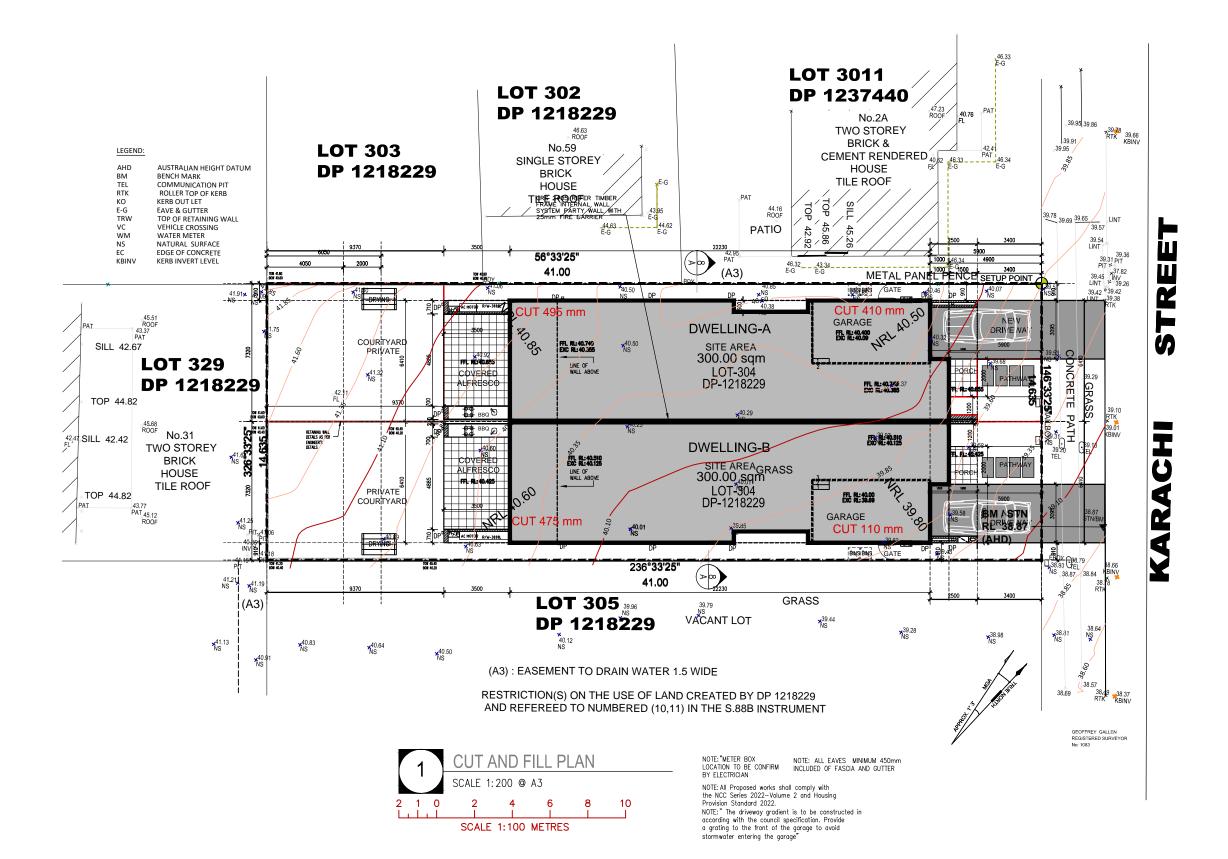
■ PROJECT:
PROPOSED ATTACHED DWELLING
No-4 Karachi St.
Riverstone-NSW 2766

CLIENT:

THE TRUSTEE OF PV004 PTY LTD

DRAWING TITLE:
SHADOW DIAGRAM

	041-2	23-24	14/10
Į	PROJECT No:		14/16
1	SCALE:	AS SHOWN	
1	DATE:	25.07.2024	DRAWING No's:
1	CHECKED:	AMIN	
1	DRAWN:	AM	





#### REVISION:

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D	FOR DA APPROVAL	AM	05.09.



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www.jaldesign.com.a	IU	ABN	1:14 646 869 187

PROJECT:
PROPOSED ATTACHED DWELLING
No-4 Karachi St. Riverstone-NSW 2766

## CLIENT:

THE TRUSTEE OF PV004 PTY LTD

## DRAWING TITLE :

CUT AND FILL PLAN

DRAWN:	AM	
CHECKED:	AMIN	
DATE:	25.07.2024	DRAWING No's:
SCALE:	AS SHOWN	
PPO IECT No.		] <b>A</b>   <b>P</b>   <b>A</b>

<sub>041-23-24</sub>15/16

#### 1. FALLS, SLIPS, TRIPS

#### a) WORKING AT HEIGHTS

#### DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

#### DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice,

regulations or legislation.
For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation

#### A note for the NCC Construction Type:

In Volume 2, Part H3 Fire safety, the construction of walls is described in many ways, depending on the circumstances, but not in terms of NCC Construction Type. Moreover, in Volume 1, Section C2 Fire resistance and stability, C2D2 Type of construction required, table C2D2 refers only to building classes 2-9.

## b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.
FLOOR FINISHES By Owner
If designer has not not been involved in the selection of surface

finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

ing owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas

#### 2. FALLING OBJECTS

#### LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

- Prevent or restrict access to areas below where the work is being carried out.
- 2. Provide toeboards to scaffolding or work platforms. Provide protective structure below the work area.
- 4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

#### BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used. that loads are properly secured and that access to areas below the load is prevented or restricted.

#### 3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where on—site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

### 4. SERVICES

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

GENERAL Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing

services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dia). appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power: Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be

#### 5. MANUAL TASKS

should be lifted by two or more workers or by mechanical device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all greas where lifting may occur. estruction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer?s specifications and not used where faulty or (in the case electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer?s specification

Components within this design with a mass in excess of 25kg

### 6. HAZARDOUS SUBSTANCES

ASBESTOS

alterations to a building constructed prior to 1990: If this existing building was constructed prior to: 1990 — it therefore may contain asbestos 1986 — it therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. Ir either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

#### POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

#### TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding. drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

#### VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer?s recommendations for use must be carefully considered at all times.

#### SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal of sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other 10.0THER HIGH RISK ACTIVITY sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

#### TIMBER FLOORS

THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer?'s recommendations for use must be carefully considered at all times.

#### 7. CONFINED SPACES

#### **EXCAVATION**

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

#### ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose, design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment

#### SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

# NON-RESIDENTIAL BUILDINGS

This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit—out for the end—user.

For non-residential buildings where the end-use is known: This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

All electrical work should be carried out in accordante with of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.
All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

access may be required:

should be provided

#### 8. PUBLIC ACCESS

#### 9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been

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JAL DES**I**GN PTY LTD

ACCREDITED

BUILDING DESIGNER

Accredited Building Designer(Low Rise)
Accreditation Number 6871

MBDAA # 9831-22

Copyright: Do not scale drawings - All measurements shall be verified

By Date

AM 25.07.24 AM 19.08.24

AM 28.08.24

AM 05.09.24

unsure always contact the Designer

REVISION: No AMENDMENTS

A FOR CLIENT APPROVAL

D FOR DA APPROVAL

FOR CLIENT APPROVAL C FOR CLIENT APPROVAL

#### PROJECT: PROPOSED ATTACHED DWELLING No-4 Karachi St. Riverstone-NSW 2766

#### CLIENT:

THE TRUSTEE OF PV004 PTY LTD

# DRAWING TITLE :

SAFE DESIGN SHEET

DRAWN: CHECKED: AMIN DATE: 25.07.2024 DRAWING No's: SCALE:

041-23-24